



**OFFICIAL MINUTES OF THE OXFORD MAYOR AND COUNCIL MEETING  
REGULAR SESSION  
MONDAY, AUGUST 6, 2018 – 7:00 PM  
CITY HALL**

**MEMBERS PRESENT:** Jerry D. Roseberry, Mayor; and Councilmembers: George Holt; Jim Windham; Mike Ready; and Sarah Davis. Councilmembers Jeff Wearing and David Eady were not present.

**OTHERS PRESENT:** Matt Pepper, City Manager; Dave Harvey, Chief; Luran Willis, City Clerk; Jody Reid, Superintendent; Hoyt Oliver, Cheryl Ready, Patsy Burke, Judy Greer, Peggy Madden, Art Vinson, Zach May and Allison Epps with Oxford College.

Call to Order, Pledge, Welcome ..... Mayor Jerry D. Roseberry  
Invocation..... Hoyt Oliver

**Motion was made by Ready, seconded by Davis to accept the Agenda for the August 6, 2018 Mayor and Council Meeting. The motion passed 5/0. Attachment – A**

**Consent Agenda/ Approved 5/0. Attachment B**

**Mayors Report**

Mayor Roseberry announced that the City received \$71,000 from FEMA as reimbursement from the damage caused by tropical storm Erma. He thanked City Manager, City Hall Staff and Jody for the work that was done in putting together the reports. He also thanked Jody's crew for the work they contributed.

**Planning Commission Recommendations/Petitions**

None

**Citizens Concern**

None

**Second Reading of an Amendment to Sec. 6-33 – State Minimum Standards and Permissive Codes Adopted**

We had the second reading for a proposed amendment to Chapter 6: Section 6-33 of the city's current building ordinance. With this amendment, the city adopts all building codes and standards as currently adopted by the State of Georgia.

**A motion was made by Ready, seconded by Windham to adopt the amendment to Section 6-33 – State Minimum Standard and Permissive Codes. Motion was approved 5/0. Attachment C**

**Asbury Street Park Plans**

City Manager Matt Pepper presented the plans approved by the Asbury Street Park Citizens Advisory Committee and Trees, Parks and Recreation Board with a recommendation to proceed with the bid process to begin construction.

**A motion was made by Holt, seconded by Ready to approve the plans and move forward with bid process. The motion passed 5/0. Attachment D**

**107 W. Clark Street Renovation Project**

Discussion was made regarding the revised roofing quote for a standing seam roof from JACO Contracting. This item will be moved to the Work Session on August 20, 2018. Attachment E

**East Clark Street Property Deed**

City Manager Matt Pepper presented the warranty deed and resolution for two E. Clark Street parcels that will be developed by the Downtown Development Authority as part of the E. Clark Street project with recommendation for approval.

**A motion was made by Ready, seconded by Holt to approve the resolution and the warranty deed for the two parcels. The motion passed 5/0. Attachment F**

**Chipper Truck for the Streets Department**

City Manager Matt Pepper said the FY2019 Capital Budget includes \$84,000 for a replacement chipper truck. Pepper presented three quotes for a new chipper truck with recommendation to accept the quote from Altec for \$76,721.

**A motion was made by Davis, seconded by Windham to accept the quote from Altec in the amount of \$76,721 for a new chipper truck. The motion passed 5/0. Attachment G**

**Invoice Approval**

**INVOICES OVER \$1,000.00**

VENDOR	DESCRIPTION	AMOUNT
	<b>MONTHLY</b>	
Blue Cross Blue Shield	Health Insurance Employees (8/1 – 9/1)	18,222.76
City of Oxford Utilities	City Hall/Maintenance Facility/Old Church/Pump Station on Richardson/107 W. Clark St. Utilities for (Bill Date 7/27/2018)	1,714.38
City of Covington	Quarterly sewer charges 4/1/18 - 6/30/18	11,070.00
Cintas	Uniforms	1,410.57
Consolidated Monthly Report	Municipal Court Fines and Fees for June	1,397.20
Georgia Department of Natural Resources	Annual drinking water fee to DNR	3,900.00
Georgia Municipal Association	GMEBS/Retirement Trust Fund (July) Inv. 340426	6,491.75
Latham Home Sanitation	Garbage and Recycling Service (July)	6,891.38
MasterCard	Hotel fees for ECG training for Jody/Hotel fees for Judge Municipal Law training, replace first aid kits for all departments, Hands free devices for all utility vehicles, etc.	1,865.04

NC Board of Commissioners	Monthly water purchase for June Inv. 2432	18,576.00
NC Board of Commissioners	Monthly water purchase for July Inv. 2444	14,859.00
NC Water & Sewerage Authority	Plant Operations & Maintenance 5/30/18 – 6/28/18	6958.13
Newton County Sheriff's Office	Prisoner housing 9 detainees plus processing fee	1,350.00
Southeastern Power Admin.	SEPA energy cost (June) Inv. B-18-2372	3,078.43
Sophicity	Software/ Technical Maintenance (July) Inv. 10138	1,813.05
<b>PURCHASES/CONTRACT LABOR</b>		
Air Conditioning Specialist Inc.	AC Unit in Police Depart/Compressor	2,334.60
Anixter Inc.	Electric Supplies	2,280.00
AT&T	Monthly Service June 29 – July 28	1,074.44
C. David Strickland	Professional Fees June	2,318.82
C. David Strickland	Professional Fees July	4,371.02
Consolidated Copier Services	Quarterly Impressions charge 4/30 -7/30	1,116.22
Gresco Utility Supply	Chain saw/Block set w/hook/Fan Fold bucket cover/tool bucket step hasting	1,475.00
Georgia Hydrant Services Inc.	2-6" Insert Valves Materials & Labor	11,400.00
Harris Local Government	Annual Software Renewal	18911.81
MasterCard Services	Hotel & Conference Jekyll Island for Jody and Scottie GRWA/ECG Conference Jody/Parade items/folding chairs for events at Maintenance Facility/Stamps for delinquent billing. Various other charges.	2,179.23
Mason Tractor Co.	Replace clutch & bearing in chipper	1,735.77
Treadmaxx Tire Distributors	Tires for Police vehicles	1,708.33
Woco Pep Oil, Inc.	Gasoline delivered July 19, 2018	3,193.32
<b>APPROVED CONTRACTS</b>		
Arbor Equity Inc.	Pruning all trees along Asbury St. raise for vehicle clearance, Willow Oaks along Pierce perform crown clearing of deadwood 2" and larger, 1106 Asbury – structural prune Willow Oak and raise, Chip all debris.	1,800.00
HCS Services	Pierce Street Water Valve Replacement	2,850.00
HCS Services	2" irrigation tap @ Pierce Street	1,400.00
Jordan Engineering	Asbury Park Civil design plans, construction drawings, hardscapes and landscape architecture items, finish hydrology calculations and profiles.	4,800.00
Oxford Historical Cemetery	FY2019 Annual maintenance support	5,000.00
Scarborough Tree Service	Removal of 1 large Oak on Emory St./stump grinding	3,000.00
Sumner Meeker, LLC	Legal Professional/East Clark Street property	1,965.00

**A motion was made by Holt, seconded by Ready, to approve invoices. The motion was passed 5/0.**

**A motion was made by Windham, seconded by Holt to adjourn the regular session at 7:29 PM. The motion passed 5/0.**

**A motion was made by Ready, seconded by Windham to enter into an executive session at 7:29 PM. Motion passed 5/0.**

Council discussed several real-estate matters.

There being no further business, a motion was made by Windham, seconded by Davis to adjourn the executive meeting at 8:15 PM. The motion passed 5/0.

Respectfully Submitted;



Lauran Willis, MMC/FOA  
City Clerk

OXFORD MAYOR AND COUNCIL  
REGULAR MEETING  
MONDAY, AUGUST 6, 2018 – 7:00 P.M.  
CITY HALL  
A G E N D A

1. Call to Order, Mayor Jerry D. Roseberry
2. Invocation
3. Pledge of Allegiance
4. Motion to accept the Agenda for the August 6, 2018 Mayor and Council Regular Meeting.
5. **CONSENT AGENDA**
  - a. \* Motion to approve the Minutes of the Regular Meeting of July 2, 2018.
  - b. \* Motion to approve the Minutes of the Public Hearing & Work Session 7/16/2018.
  - c. \* Motion to accept the Minutes of the Public Hearing/Special Called Meeting 7/23/2018.
  - d. \* Motion to accept the Minutes of the DDA 6/27/2018.
6. Mayor's Report
7. Planning Commission Recommendations/Petitions.
8. Citizen Concerns.
9. \* **Second Reading of an Amendment to Sec. 6-33. – State Minimum Standards and Permissive Codes Adopted** – We will have the second reading for a proposed amendment to Section 6-33 of the city's current building ordinance. With this amendment, the city adopts all building codes and standards as currently adopted by the State of Georgia. We have attached the proposed amendment.
10. \* **Asbury Street Park Plans** – Council will review the civil plans for Asbury Street Park. The plans have been approved by the Asbury Street Park Citizens Advisory Committee and the Trees, Parks and Recreation Board. We have attached a copy of the civil plans. We recommend that Council approve the plans to go out for bid for the new park as presented.
11. \* **107 W. Clark Street Renovation Project** – We will discuss the revised roofing quote for a standing seam roof from JACO Contracting.
12. \* **E. Clark Street Property Deed** – Council will review the warranty deed for the E. Clark Street property. The deed is for the two parcels that will be developed by the

Downtown Development Authority as part of the E. Clark Street project. The deed must be conveyed by a resolution from Council. We recommend that Council deed the two parcels to the DDA.

13. \* **Chipper Truck for the Streets Department** – The FY2019 Capital Budget includes \$84,000 for a replacement chipper truck. We recommend that Council award the purchase order to Altec for \$76,721.

**14. Invoice Approval**

**INVOICES OVER \$1,000.00**

VENDOR	DESCRIPTION	AMOUNT
<b>MONTHLY</b>		
<b>Blue Cross Blue Shield</b>	Health Insurance Employees (8/1 – 9/1)	18,222.76
<b>City of Oxford Utilities</b>	City Hall/Maintenance Facility/Old Church/Pump Station on Richardson/107 W. Clark St. Utilities for (Bill Date 7/27/2018)	1,714.38
<b>City of Covington</b>	Quarterly sewer charges 4/1/18 - 6/30/18	11,070.00
<b>Cintas</b>	Uniforms	1,410.57
<b>Consolidated Monthly Report</b>	Municipal Court Fines and Fees for June	1,397.20
<b>Georgia Department of Natural Resources</b>	Annual drinking water fee to DNR	3,900.00
<b>Georgia Municipal Association</b>	GMEBS/Retirement Trust Fund (July) Inv. 340426	6,491.75
<b>Latham Home Sanitation</b>	Garbage and Recycling Service (July)	6,891.38
<b>MasterCard</b>	Hotel fees for ECG training for Jody/Hotel fees for Judge Municipal Law training, replace first aid kits for all departments, Hands free devices for all utility vehicles, etc.	1,865.04
<b>NC Board of Commissioners</b>	Monthly water purchase for June Inv. 2432	18,576.00
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<b>NC Water &amp; Sewerage Authority</b>	Plant Operations & Maintenance 5/30/18 – 6/28/18	6958.13
<b>Newton County Sheriff's Office</b>	Prisoner housing 9 detainees plus processing fee	1,350.00
<b>Southeastern Power Admin.</b>	SEPA energy cost (June) Inv. B-18-2372	3,078.43
<b>Sophicity</b>	Software/ Technical Maintenance (July) Inv. 10138	1,813.05
<b>PURCHASES/CONTRACT LABOR</b>		
<b>Air Conditioning Specialist Inc.</b>	AC Unit in Police Depart/Compressor	2,334.60
<b>Anixter Inc.</b>	Electric Supplies	2,280.00
<b>AT&amp;T</b>	Monthly Service June 29 – July 28	1,074.44
<b>C. David Strickland</b>	Professional Fees June	2,318.82
<b>C. David Strickland</b>	Professional Fees July	4,371.02
<b>Consolidated Copier Services</b>	Quarterly Impressions charge 4/30 -7/30	1,116.22
<b>Gresco Utility Supply</b>	Chain saw/Block set w/hook/Fan Fold bucket cover/tool bucket step hasting	1,475.00
<b>Georgia Hydrant Services Inc.</b>	2-6" Insert Valves Materials & Labor	11,400.00
<b>Harris Local Government</b>	Annual Software Renewal	18911.81



<b>MasterCard Services</b>	Hotel & Conference Jekyll Island for Jody and Scottie GRWA/ECG Conference Jody/Parade items/folding chairs for events at Maintenance Facility/Stamps for delinquent billing. Various other charges.	2,179.23
<b>Mason Tractor Co.</b>	Replace clutch & bearing in chipper	1,735.77
<b>Treadmaxx Tire Distributors</b>	Tires for Police vehicles	1,708.33
<b>Woco Pep Oil, Inc.</b>	Gasoline delivered July 19, 2018	3,193.32
	<b>APPROVED CONTRACTS</b>	
<b>Arbor Equity Inc.</b>	Pruning all trees along Asbury St. raise for vehicle clearance, Willow Oaks along Pierce perform crown clearing of deadwood 2" and larger, 1106 Asbury – structural prune Willow Oak and raise, Chip all debris.	1,800.00
<b>HCS Services</b>	Pierce Street Water Valve Replacement	2,850.00
<b>HCS Services</b>	2" irrigation tap @ Pierce Street	1,400.00
<b>Jordan Engineering</b>	Asbury Park Civil design plans, construction drawings, hardscapes and landscape architecture items, finish hydrology calculations and profiles.	4,800.00
<b>Oxford Historical Cemetery</b>	FY2019 Annual maintenance support	5,000.00
<b>Scarborough Tree Service</b>	Removal of 1 large Oak on Emory St./stump grinding	3,000.00
<b>Sumner Meeker, LLC</b>	Legal Professional/East Clark Street property	1,965.00

15. **Executive Session** – Council will discuss real estate and litigation matters.

16. **Adjourn**



**DRAFT MINUTES OF THE OXFORD MAYOR AND COUNCIL MEETING  
REGULAR SESSION  
MONDAY, July 2, 2018 – 7:00 PM  
CITY HALL  
DRAFT**

**MEMBERS PRESENT:** Jerry D. Roseberry, Mayor; and Councilmembers: George Holt; Jim Windham; David Eady; Mike Ready; Jeff Wearing, and Sarah Davis.

**OTHERS PRESENT:** Matt Pepper, City Manager; Dave Harvey, Chief; Lauran Willis, City Clerk; Jody Reid, Superintendent; Hoyt Oliver, Teresa Welch, Cheryl Ready, Patsy Burke, Judy Greer, Erik Oliver, Peggy Madden.

The meeting was called to order by the Hon. Jerry D. Roseberry, Mayor

Invocation was delivered by Hoyt Oliver  
Pledge of Allegiance – All

**Agenda Amendments**

Mayor Roseberry requested to amend the agenda to add a request from County Attorney, Aaron Meyer for the city to approve an extension of the deadline for the next Service Delivery Strategy to October 31.

**Motion was made by Mike Ready, seconded by Jeff Wearing to accept the amendment of the agenda and to approve the extension of the Service Delivery Strategy with Newton County until October 31. Motion passed 7/0.**

Mayor Roseberry requested to amend the agenda to include discussion regarding the Property Tax Digest.  
**Motion was made by Eady, seconded by Windham to accept the amendments of the agenda. Motion passed 7/0.** (Attachment A)

**CONSENT AGENDA**

Approved, 7/0. (Attachment B)

**Honorary Councilmember**

Councilmember Eady has appointed Melissa Hage as Honorary Councilmember for June. Because of her travel schedule she will attend the work session in July.

**Mayor's Reports**



City Clerk Lauran Willis gave report on the Property Tax Digest with dates and times of the required meetings. Willis said that the 2018 Millage Rate digest is set at 6.622 with a Rollback Millage Rate set at 5.932. If we maintain the current millage rate of 6.62 mills, this will require three public hearings. If we go with the proposed rollback rate of 5.932, this would only require one public hearing and adoption.

**A motion was made by Ready, seconded by Eady to approve to maintain the current millage rate of 6.622 in taxes based on the current 2018 Millage Rate. Motion passed 6/1 with Councilmember Holt voting Nay.**

Mayor Roseberry gave an update of the Police Department statistics.

#### **Planning Commission Recommendations/Petitions**

None

#### **Citizens' Concerns**

Hoyt Oliver reminded everyone of the Community Picnic at Old Church on Tuesday night July 3, at 6:30 sponsored by the Oxford Historical Society.

#### **Second Reading and adoption of Ordinance Change for Sec. 20-1.-Disorderly Conduct**

**A motion was made by Windham, seconded by J. Wearing to approve the amendment to Section 20-1 Disorderly Conduct. Motion passed 7/0. (Attachment C)**

#### **First Reading on an Amendment to Section 6-33- State Minimum Standards and Permissive Codes Adopted.**

City Manager Matt Pepper presented the first reading for a proposed amendment to Section 6-33 of the city's current building ordinance. With this amendment, the city adopts all building codes and standards as currently adopted by the State of Georgia.

#### **107 W. Clark Street Renovation Project**

Councilmember Eady gave a report from the ad hoc Yarbrough House Renovation Committee and presented three quotes for the Yarbrough House renovation.

**A motion was made by Eady, seconded by J. Wearing to accept the quote from JACO Contracting Inc. for the Yarbrough House renovation as stated in the task of work listed as per the memo from Councilmember Eady dated July 2, 2018, to include the standing seam roof made of galvalume and color similar to City Hall for a total of \$29,300. The motion was passed 7/0. (Attachment H)**

#### **Tree Removal Bids for 107 W. Clark Street**

City Manager Matt Pepper said we have received two bids for the removal of the tree line along the east and south sides of the property located at 107 W. Clark Street. A recommendation was made to award the purchase order to HCS Services for \$10,700, to include breakdown of items to include that contractor will supply all labor and equipment, locate and disconnect all utilities, roll off containers T&D, grade and balance with dirt on site, and seed and straw site on completion.

**A Motion was made by Eady seconded by Windham to accept the bid from HCS Services including the above listed items for \$10,700. The motion passed 7/0.**

#### **ECG Legislative and Regulatory Services**

City Manager Matt Pepper said Electric cities of Georgia (ECG) has offered legislative and regulatory services to its member cities. This new service will focus on current, proposed, and pending state legislation that impacts member cities' distribution systems. The estimated annual cost for this service is \$873. He recommended Council approve this service with ECG.

**A motion was made by Ready, seconded by J. Wearing to endorse this service with ECG. The motion passed 7/0.**

**Appointment to the Downtown Development Authority**

City Manager Matt Pepper said that Danielle Miller has been recommended to fill the vacancy left by Kendra Mayfield on the city's Downtown Development Authority (DDA).

**A motion was made by Eady, seconded by Holt to approve the appointment of Danielle Miller to the DDA. The motion passed 7/0.**

**Asbury Street Park**

City Manager Matt Pepper said we are waiting on the landscape plans from the Landscape Architect.

**Invoice Approval**

**INVOICES OVER \$1,000.00**

VENDOR	DESCRIPTION	AMOUNT
	<b>MONTHLY</b>	
Blue Cross Blue Shield	Health Insurance Employees (7/1 – 8/1)	9,378.41
City of Oxford Utilities	City Hall/Maintenance Facility/Old Church/Pump Station on Richardson/107 W. Clark St. Utilities for (May)	1,509.98
Georgia Municipal Association	GMEBS/Retirement Trust Fund (June) Inv. 338771	6,279.16
Latham Home Sanitation	Waste/Recyclables (June)	5,636.10
NC Board of Commissioners	Monthly water purchase for May Inv. 2423	18,490.00
NC Water & Sewerage Authority	Plant Operations & Maintenance 4/17/18 – 5/30/18	6958.13
Southeastern Power Admin.	SEPA energy cost (May) Inv. B-18-2089	3,062.03
Sophicity	Software/ Technical Maintenance (July)	1,813.05
	<b>PURCHASES/CONTRACT LABOR</b>	
MasterCard Services	Hotel & Conference Jekyll Island for Jody and Scottie GRWA/ECG Conference Jody/Parade items/folding chairs for events at Maintenance Facility/Stamps for delinquent billing. Various other charges.	2,179.23
McNair, McLemore, Middlebrooks	Charles Hall, CPA Professional Services, onsite bookkeeping assistance and meeting with City Manager	1,470.00
Northeast Georgia Regional Commission	FY2019 Per Capita Dues	2,100.00
Phoenix Personnel	Temporary Service Week ending 6/12/2018	1,093.05
Phoenix Personnel	Temporary Service Week ending 6/26/2018	1,111.95
Steven A. Hathorn	Legal Municipal Judger April – June	1,250.00
Tres Thomas, III P.E.	Develop & Submit 2017-2022 Storm Water Management Program	1,500.00
	<b>APPROVED CONTRACTS</b>	
Arbor Equity Inc.	Pruning 15 trees various areas around city.	2,680.00
HCS Services	Sewer Tap 1226 Emory Street	1,750.00
Jordan Engineering	GDOT Hwy 81 & Soule GUPS correspondence and tree removal emails and calls. Civil plans, calculations,	4,635.00

	details, Asbury park civil plans, design and coordination for underground stormwater mgmt. facility. Data management. Field coordination etc.	
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**A motion was made by George Holt, seconded by Ready, to approve invoices. The motion was passed 7/0.**

**Executive Session**

**A motion was made by Windham, seconded by Eady to go into an Executive Session at 8:00 PM.**

City Manager Matt Pepper and Utility Superintendent Jody Reid updated Council on the negotiations regarding a sewer easement with the property owner at 1008 Emory Street.

**A motion was made by Ready, seconded by Davis to leave the Executive Session at 8:09 PM. Motion passed 7/0.**

**A motion was made by Ready, seconded by Davis to go back into Regular Session at 8:09 PM. Motion passed 7/0.**

**A motion was made by Eady, seconded by Ready to authorize the City Manager Matt Pepper and Utility Superintendent Jody Reid to continue negotiations with the property owner. Motion passed 7/0**

**A motion was made by J. Wearing, seconded by Eady to adjourn at 8:15 PM. Motion passed 7/0.**

Respectfully Submitted;

Lauran Willis, CMC  
City Clerk



DRAFT

**MINUTES OF THE OXFORD MAYOR AND COUNCIL MEETING  
PUBLIC HEARING AND WORK SESSION  
MONDAY, July 16, 2018 – 6:00 PM  
CITY HALL  
DRAFT**

**MEMBERS PRESENT:** Jerry D. Roseberry, Mayor; and Councilmembers: David Eady; Sarah Davis; Mike Ready, Jim Windham, George Holt, and Jeff Wearing.

**OTHERS PRESENT:** Matt Pepper, Assistant City Manager; Lauran Willis, City Clerk; Daryl Welch with the Covington News; Teresa Welch, Melisa Hage, Art Vinson, James Waddey, Anderson Wright, Peggy Madden, Allyson Epps, Mary Carter, Don Henderson, Hoyt Oliver, and Robert Bayless.

**Agenda** (Attachment A)

Mayor Roseberry called the called the Public Hearing to order at 6:00 PM.

Mayor Roseberry, announced the purpose of the Public Hearing was discuss the city's budget specifically the millage rate on real estate in the city. Roseberry said historically the city has rolled back taxes every year so the taxes would remain the same. This year, Council has decided we need to change that. Primarily in looking forward to the future the city's mixture of revenue will be changing. He said that property tax accounts for less than 2% of the city's total budget, it accounts for 7% of the government general budget. When you include it with the electric and water fund, it equals 1.9% of the total budget. In 2020, there will be another census. The census determines how certain funds are distributed throughout the County. At present Oxford is receiving 3% of sales taxes. As you know the county has grown quite a bit, and Oxford is not 3% of the county. Oxford is approximately two and a quarter or two and a half percent. Oxford receives \$325,000, or 25% of its budget, through sales tax, \$136,000 in Insurance Premium Tax, 10% of our budget, and 40% of our budget comes from the electric fund. In looking at all of these factors, the city's sources of revenue is going to change. This Council has the obligation not to look at just this year, but to look five or ten years down the road.

Roseberry said we have a choice we can wait until we need a big increase or we can gradually add a little each year as long as the economy is growing. If we have a year like we've had in recent years where there is no growth, I doubt that council would raise taxes. We would hold them where we are. I will remind you that Oxford is the only city in the county that offers an additional \$10,000 Homestead Exemption.

Hoyt Oliver of 312 W. Clark Street said I think our taxes compared to many other places have always been low. He said "I think it is a wise move on the part of the Council".

Art Vinson of 93 Asbury Street said it appears you are simply reversing the roll backs from the last four to five years and catching thing up which I don't see any argument against that. I will suggest as you mentioned the number of sources of revenue that come in that are different than property taxes it would be great in the future if we looked at a total cost of living and the various factors that effect that. There being no further comments Mayor Roseberry closed the Public Hearing at 6:09 PM.

**DRAFT MINUTES OF THE OXFORD MAYOR AND COUNCIL MEETING  
WORK SESSION  
MONDAY, July 16, 2018 – 6:09 PM  
CITY HALL  
DRAFT**

**Honorary Councilmember of the Month**

Mayor Roseberry introduced Melissa Hage as Honorary Councilmember for June and presented her with a proclamation as appreciation for her participation.

**Mayor's Announcements**

Mayor Roseberry gave an update report from the Police Department for the Month of June.

**Review Amendment to Code Section 40-536 – Livestock and Fowl**

City Manager Matt Pepper said that The Planning Commission recommends an amendment to Sec. 40-536. – Live Stock and Fowl to allow for the keeping of up to six chickens in the RR, R-30, R-20, and R-15 residential zoning districts. Per the amendment, the chickens must be contained within the property at least 20 feet from all property lines.

This item will be on the August work session agenda for further discussion.

**E. Clark Street Property Deed**

City Manager Matt Pepper presented the warranty deeds for the E. Clark Street property. The deed is for the two parcels that will be developed by the Downtown Development Authority as part of the E. Clark Street project. Council will need to approve the deed by resolution. This item will be on the August 6<sup>th</sup> agenda.

**107 W. Clark Street Renovation Project**

The ad hoc Yarbrough House Renovation Committee presented an update on the project. City Clerk Luran Willis said there were questions and discrepancies in the original quote from the contractor, and the figures presented by the ad hoc committee at the July 2<sup>nd</sup> meeting. Councilmember Jeff Wearing said he is working with the Contractor to get a new quote and clarification regarding the type of roofing material and the cost. This item will be placed on the August work session agenda for further review.

**Handicap Ramp for Old Church**

Mayor Roseberry said there is a lot of information to be determined regarding the ramp and requested it be postponed to the next meeting for further discussion.

**Mosquito Spray**

Councilmember Windham requested that Council discuss the use of an environmentally-friendly alternative to spray for mosquitos. Windham presented literature on various types of chemicals and their effects on insects, animals and humans. Windham suggested the city launch a campaign for citizen's awareness and ask them to empty any standing water around their homes, especially old tires.

June 18, 2018

City of Oxford/ Work Session

3

Council asked that City Manager Matt Pepper contact the county and state to see what they are doing and to contact the Health Department to see what their recommendations are. This item will be moved to the August work session for further discussion.

**A motion was made by Windham, seconded by J. Wearing to adjourn at 6:38 PM.**

Respectfully Submitted,

Lauran Willis, CMC/FOA  
City Clerk



**OFFICIAL MINUTES OF THE OXFORD MAYOR AND COUNCIL MEETING  
PUBLIC HEARING  
MONDAY, July 16, 2018 – 9:00 AM  
CITY HALL**

**MEMBERS PRESENT:** Jerry D. Roseberry, Mayor; and Councilmembers: David Eady; Sarah Davis; Mike Ready.

**OTHERS PRESENT:** Matt Pepper, Assistant City Manager; Lauran Willis, City Clerk; Daryl Welch with the Covington News.

The meeting was called to order at 9:00 AM by the Hon. Jerry D. Roseberry, Mayor.

Mayor Roseberry announced the purpose of the Public Hearing is to review the proposed change in property taxes. Roseberry said over the past five years the city has not maintained any growth in property taxes. He said that Oxford is the only city in the county that offers a \$10,000 Homestead Exemption. Roseberry said that Council has indicated that we are not going to roll back the rate. We are going to continue with the 6.62 mileage rate. Roseberry said that the city depends heavily on the electric utilities to supplement the general budget. For example, the budget year that just ended, 30% of the general fund budget came from the electric department. As we see a decline in revenue, we have to be mindful of what will happen ten years from now. It's better if we begin a small marginal increase now rather than waiting until we must take action and risk having a large increase.

Councilmember Eady said that in reviewing our funds, the general fund expenses have increased slightly over the past few years while other revenue has remained relatively even. The general fund has declined because we have been rolling back the rates since 2008 - 2009. We have not been increasing our revenue on the property tax side, so it's just started to get back in line with growth and the cost of government. Also, we are shifting some of our focus on revenue to cover more of our expenses with property tax and less with enterprise funds.

Roseberry included that in addition to the electric fund being a source, our largest tax revenue comes from Local Option Sales Tax. In the most recent budget cycle, 25% was from sales tax. Sales tax is based on population; the way the money is shared in the County is based on population of the cities in the County. The next census which is underway now which will be published in 2021, the County and the Cities will have to negotiate the distribution no later than December 2021. At that time, it will be determined what share of revenue Oxford will receive. We are currently receiving about 3%, when under the estimated revenue with the county we are significantly less than 3% based on population. Another tax revenue we receive is from Insurance Premium, which was 10% of our budget. This, too, is based on population according to state distributions. There are several factors that go into the long range planning of the budget. We are not arbitrarily saying we are going to



increase taxes. In our philosophy, we do not increase any taxes or fees without explaining why and the purpose in which they will be used.

Daryl Welch with Covington News asked had the assessments not gone up this year would you have raised the taxes this year. Roseberry said no we would not have had to raise, that actually what has happened is that if you do nothing the inflation factor takes over. And I don't think Council would have raised taxes under that scenario because if they don't go up that's an indication that the economy is not growing. If the economy is not growing, the people don't have the income for growth. We think it needs to grow as the economy grows and people's income grows. We don't want to get to far behind, and then all of a sudden say we have to raise your taxes.

Councilmember Ready said we did a lot of hard thinking about what's going to happen in the years moving forward. As the Mayor stated, we were concerned about having to justify a large tax increase down the road when it's best to start a basis now after eight years. It's catching up to us if you can imagine what it will be five years from now.

There being no further discussion, Mayor Roseberry adjourned the Public Hearing at 9:27.

Respectfully Submitted,

Lauran Willis, CMC/FOA  
City Clerk



**MINUTES OF THE OXFORD MAYOR AND COUNCIL MEETING  
PUBLIC HEARING  
MONDAY, July 23, 2018 – 6:00 PM  
CITY HALL**

**MEMBERS PRESENT:** Jerry D. Roseberry, Mayor; and Councilmembers: David Eady; Sarah Davis; Mike Ready; Jim Windham.

**OTHERS PRESENT:** Lauran Willis, City Clerk

The meeting was called to order at 6:00 PM by the Hon. Jerry D. Roseberry, Mayor.

Mayor Roseberry announced the purpose of the Public Hearing is to review the proposed increase in property taxes. Roseberry said that Council has indicated that we are not going to roll back the rate this year. We are going to continue with the 6.622 mileage rate.

There being no citizens present at this Special Called Meeting/Public Hearing. There being no further discussion from Council.

**A motion was made by Ready, seconded by Eady to adopt the 2018 Millage Rate at 6.622. The motion passed 5/0. Councilmember George Holt and Jeff Wearing were not present.**

**A motion was made by Eady, seconded by Windham to adjourn at 6:15 PM.**

Respectfully Submitted,

Lauran Willis, CMC/FOA  
City Clerk

# **DOWNTOWN DEVELOPMENT AUTHORITY OF THE CITY OF OXFORD**

**Minutes – June 27, 2018**

**MEMBERS:** Mr. Mark McGiboney, Chair; Ms. Loren Roberts, Vice-Chair; Mr. Jonathan Eady, Mr. Mike Ready. Mr. Brian Barnard and Ms. Martha Molyneux were absent.

**STAFF:** Matthew Pepper, assistant city manager and DDA secretary/treasurer.

**GUESTS:** Danielle Miller, Chief Business Officer and Sr. Associate Dean of Finance, Operations and Technology for Oxford College.

**OPENING:** At 7:05 PM, Mr. McGiboney called the meeting to order.

**APPROVAL OF MINUTES:** Upon motion of Mr. Ready, seconded by Mr. Eady, the minutes for the meeting on June 6, 2018 were approved. The vote was 4 – 0.

**REVIEW OF DRAFT REQUEST FOR PROPOSAL:** The DDA members reviewed the draft Request For Proposal (RFP) prepared by Frank Turner, DDA Attorney. During the review, the DDA members had a discussion regarding the incentives the city is willing to offer, the project timeline, the development and building permitting process, and other topics addressed in the RFP. Mr. Pepper will communicate the DDA's edits to the RFP to Mr. Turner.

**CREATE POTENTIAL DEVELOPER LIST:** The DDA members reviewed the list of potential developers for the E. Clark Street Development Project. Mr. Pepper will contact Frank Turner and the county's planning and zoning department to inquire about additional developers to include on the list.

**ADJOURNMENT:** Mr. McGiboney adjourned the meeting at 8:15 PM.

Approved by:

Matthew Pepper, Secretary/Treasurer

**STATE OF GEORGIA  
COUNTY OF NEWTON**

**AN ORDINANCE BY THE CITY COUNCIL OF THE CITY OF OXFORD TO AMEND  
CHAPTER 6: BUILDINGS AND CONSTRUCTION, ARTICLE II: CONSTRUCTION  
CODES, BY AMENDING SECTION 6-33: STATE MINIMUM STANDARDS AND  
PERMISSIVE CODES ADOPTED; TO REPEAL ALL CONFLICTING ORDINANCES;  
TO PROVIDE FOR SEVERABILITY, AN EFFECTIVE DATE; AND FOR OTHER  
PURPOSES.**

---

**WHEREAS**, the City pursuant to O.C.G.A. Sec. 36-35-3 known as the "Home Rule for Municipalities", is authorized under paragraph (a) of the rule to adopt clearly reasonable ordinances, resolutions or regulations related to its property, affairs, and local government for which no provision has been made by general law and which are not inconsistent with the Constitution or any charter provision applicable thereto; and

**WHEREAS**, Georgia's Uniform Codes Act, at O.C.G.A. Sec. 8-2-20, *et. seq.*, permits local governments to adopt certain mandatory and permissive codes pursuant to state law, and which are not inconsistent with other general law, the Constitution or any charter provision applicable thereto; and

**WHEREAS**, the Mayor and Council of the City deem it in the best interest of the government and the residents of the City, and further as a matter of public safety, to amend the listing of mandatory and permissive codes within the City, as well as personnel charged with enforcing the same; and

**WHEREAS**, the Mayor and Council of the City of Oxford have determined that the proper means of addressing said concern is to amend Chapter 6: Buildings and Construction; Article II: Construction Codes; Section 6-33: State Minimum Standards and Permissive Codes Adopted; and

**NOW THEREFORE**, be it ordained by the Mayor and Council of the City of Oxford that Chapter 6: Article II: Section 6-33 be amended as follows:

(Additions are in ***underlined bold italics***; deletions are ~~struck through~~)

## **Section 1.**

### **Sec. 6-33. - State minimum standards and permissive codes adopted.**

The City adopts by reference as though fully set forth in this section all building codes and standards as adopted from time to time by ~~Newton County,~~ The State of Georgia, and authorizes county City building personnel to enforce such codes within the City.

## **Section 2. Repeal of All Ordinances in Conflict**

All ordinances and resolutions or portions thereof in conflict with this ordinance are repealed to the extent of their conflict.

## **Section 3. Severability**

If any section, sentence, clause or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance, and such remainder shall remain in full force and effect.

## **Section 4. Effective Date**

Pursuant to Sec. 2-21 (9) (D), this Ordinance shall be in full force and effect five (5) days after its final passage.

Nathan Deal  
Governor



Christopher Nunn  
Commissioner

## GEORGIA STATE MINIMUM STANDARD CODES

January 1, 2018

On October 1, 1991, the Uniform Codes Act became effective in Georgia. On July 1, 2004, this Act was revised to make the following construction codes mandatory as the Georgia State Minimum Standard Codes. Listed below are the code editions in effect as of January 1, 2018:

International Building Code	2012 Edition
International Residential Code	2012 Edition
International Plumbing Code	2012 Edition
International Mechanical Code	2012 Edition
International Fuel Gas Code	2012 Edition
International Energy Conservation Code	2009 Edition
International Fire Code	2012 Edition
National Electrical Code	2017 Edition
International Swimming Pool and Spa Code	2012 Edition

The Act requires local governments that elect to enforce these codes within their jurisdictions to adopt administrative procedures and penalties in order to locally enforce any of these mandatory codes. Also, any applicable appendices of these codes must be adopted locally in order to be enforceable within a specific local jurisdiction.

The Act also made the following optional codes available for local government adoption and enforcement. Local governments choosing to enforce any of the below optional codes must adopt the code(s) they wish to enforce, as well as administrative procedures and penalties.

International Property Maintenance Code	2012 Edition
International Existing Building Code	2012 Edition
National Green Building Standard	2008 Edition

The Georgia Amendments are available at the below web link:

<http://www.dca.state.ga.us/development/constructioncodes/programs/codeAmendments.asp>

The DCA Board specifically omitted the plumbing, electrical, and energy requirements of the International Residential Code for One- and Two-Family Dwellings. Therefore, the plumbing requirements of the International Plumbing Code, the electrical requirements of the National Electrical Code, and the energy requirements of the International Energy Conservation Code must be used for one- and two-family dwelling construction.

If you need assistance in establishing or updating construction codes enforcement program in your area, please contact DCA's Construction Codes Program at (404) 679-3118 or [codes@dca.ga.gov](mailto:codes@dca.ga.gov).

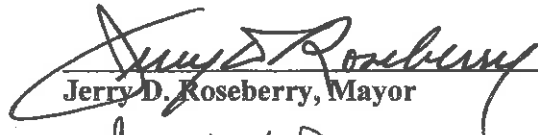
60 Executive Park South, NE | Atlanta, GA 30329-2231 | 404-679-4940  
[www.dca.ga.gov](http://www.dca.ga.gov) | An Equal Opportunity Employer



First reading, this 2 day of July, 2018.

Second reading and adoption, this 6 day of August, 2018.

**CITY OF OXFORD**

  
Jerry D. Roseberry, Mayor

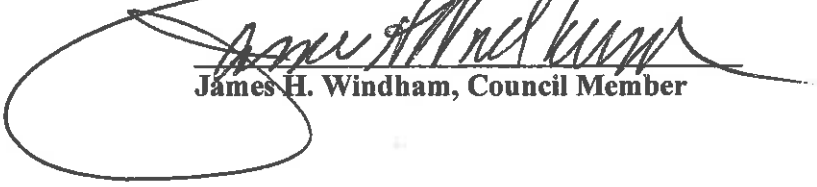
  
Sarah T. Davis, Council Member

\_\_\_\_\_  
David Eady, Council Member

  
George R. Holt, Council Member

  
Michael Ready, Council Member

\_\_\_\_\_  
Jeff Wearing, Council Member

  
James H. Windham, Council Member

**ATTEST:**

  
Lauran Willis, City Clerk

{The Seal of the City of Oxford, Georgia}

**APPROVED AS TO FORM:**

  
C. David Strickland, City Attorney



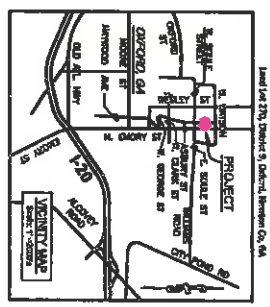
# CITY OF OXFORD ASBURY PARK

Prepared For:  
**CITY OF OXFORD, GEORGIA**  
110 West Clark Street  
Oxford, GA 30054  
Contact: Matt Pepper (770) 786-7004

Prepared By:  
**JORDAN ENGINEERING, INC.**  
144 North Warren Street,  
Monticello, GA 31064  
706-468-8999 robert@jordan-eng.com

**AUGUST 3, 2018**

**REVISION 0**



**GENERAL CONSTRUCTION NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF OXFORD SPECIFICATIONS AND THE GEORGIA CONSTRUCTION CODE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE STATE OF GEORGIA.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
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**GENERAL NOTES:**

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**NOTES:** THESE CONSTRUCTION DOCUMENTS CONSTITUTE THE ENTIRE AGREEMENT BETWEEN THE CITY OF OXFORD AND THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE STATE OF GEORGIA. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.

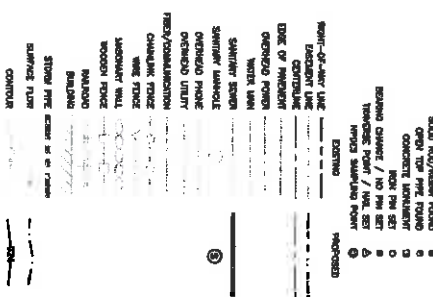
**INDEX TO SHEETS**

SHEET	TITLE
1	COVER SHEET - GENERAL NOTES
2	EXISTING CONDITIONS / DETAILION PLAN
3	GRADING PLAN
4	UTILITY AND LIGHTING PLAN
5A	PROFILES
6	EROSION PLAN - PHASE 1
7	EROSION PLAN - PHASE 2
8	EROSION CHECKLIST AND DETAILS
9	EROSION CONTROL DETAILS
10	EROSION CONTROL DETAILS
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21	EROSION CONTROL DETAILS
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23	EROSION CONTROL DETAILS
24	EROSION CONTROL DETAILS
25	EROSION CONTROL DETAILS

**ABBREVIATIONS**

NO.	DESCRIPTION	SYMBOL
01	ASPHALT DRIVE	ASPH
02	CONCRETE DRIVE	CONC
03	GRAVEL DRIVE	GRAV
04	PAVEMENT	PAVE
05	GRAVEL DRIVE	GRAV
06	CONCRETE DRIVE	CONC
07	ASPHALT DRIVE	ASPH
08	CONCRETE DRIVE	CONC
09	GRAVEL DRIVE	GRAV
10	PAVEMENT	PAVE
11	GRAVEL DRIVE	GRAV
12	CONCRETE DRIVE	CONC
13	ASPHALT DRIVE	ASPH
14	CONCRETE DRIVE	CONC
15	GRAVEL DRIVE	GRAV
16	PAVEMENT	PAVE
17	GRAVEL DRIVE	GRAV
18	CONCRETE DRIVE	CONC
19	ASPHALT DRIVE	ASPH
20	CONCRETE DRIVE	CONC
21	GRAVEL DRIVE	GRAV
22	PAVEMENT	PAVE
23	GRAVEL DRIVE	GRAV
24	CONCRETE DRIVE	CONC
25	ASPHALT DRIVE	ASPH

**LEGEND**

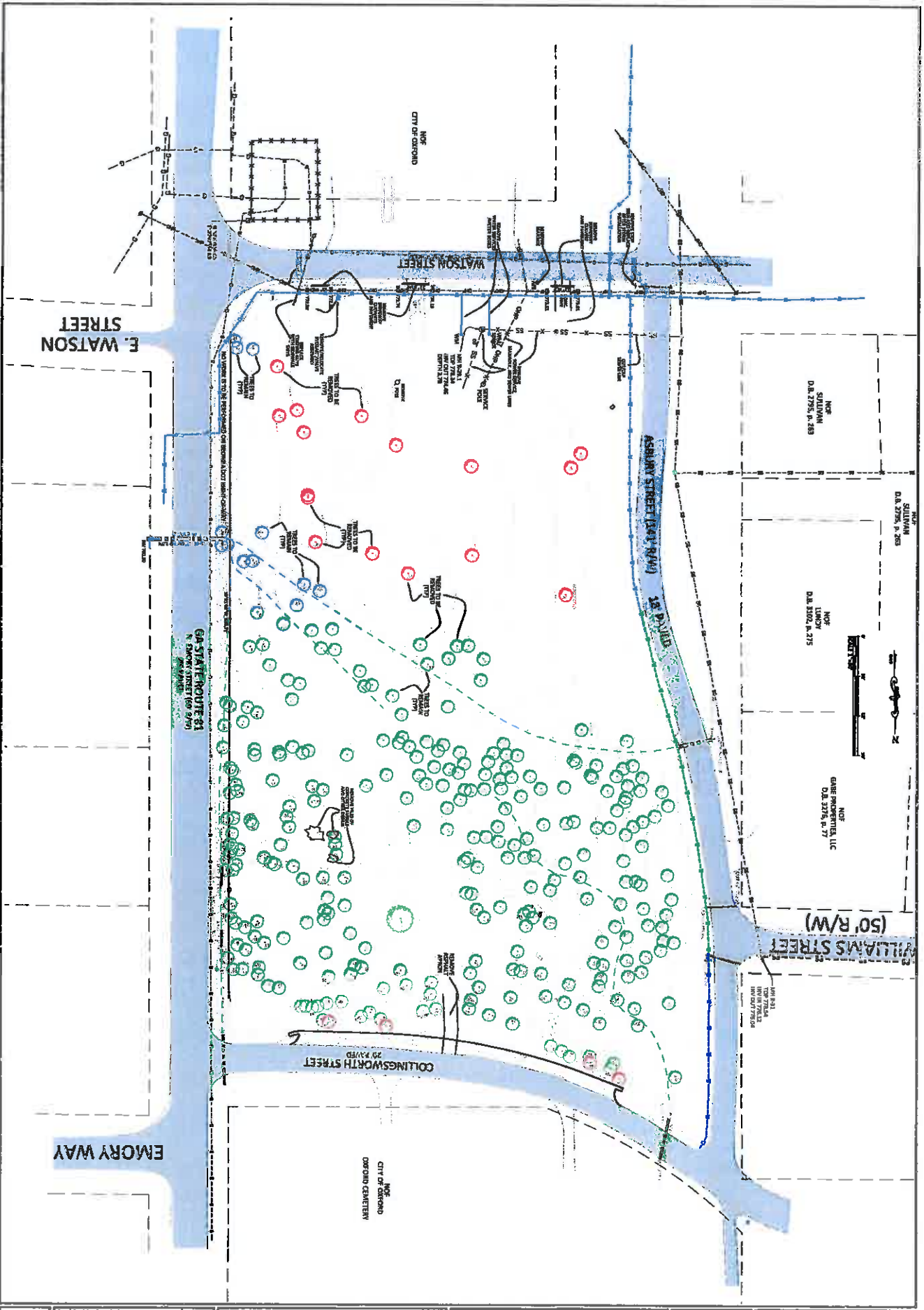


**COVER AND GENERAL NOTES**

Asbury Street Park  
City of Oxford, Newton County, Georgia



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	8/3/18
2	ISSUED FOR PERMITTING	8/3/18
3	ISSUED FOR PERMITTING	8/3/18
4	ISSUED FOR PERMITTING	8/3/18
5	ISSUED FOR PERMITTING	8/3/18
6	ISSUED FOR PERMITTING	8/3/18
7	ISSUED FOR PERMITTING	8/3/18
8	ISSUED FOR PERMITTING	8/3/18
9	ISSUED FOR PERMITTING	8/3/18
10	ISSUED FOR PERMITTING	8/3/18



E. WATSON STREET

GA STATE ROUTE 81  
N. EMORY STREET (60' R/W)

EMORY WAY

CITY OF OXFORD

WATSON STREET

ASBURY STREET (60' R/W)

12' P.V. UTILITY

WILLIAMS STREET (50' R/W)

COLLINGSWORTH STREET  
20' R/W

CITY OF OXFORD  
OXFORD CEMETERY

NOT SURVEYED  
D.A. 2756, P. 283

NOT SURVEYED  
D.A. 3202, P. 275

NOT SURVEYED  
D.A. 3278, P. 77



Rev	Revision Description	Date
01	Project start for city review	06/25/18
02	Project start for city review	06/25/18
03	DRAFT review under final	07/17/18
04	Final issue - landscaping plan included	08/06/18

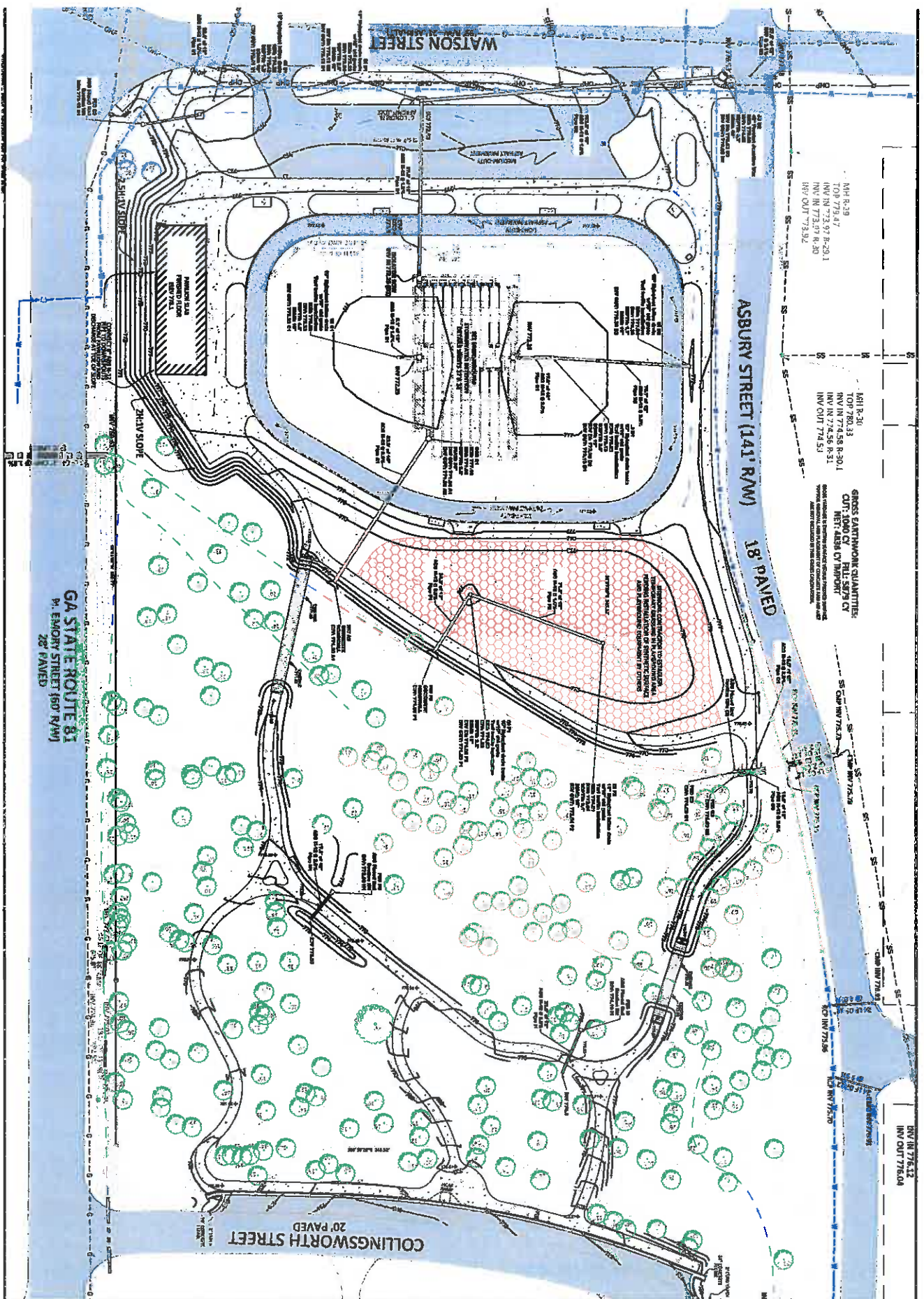
**Asbury Street Park**  
City of Oxford, Newton County, Georgia

**EXISTING CONDITIONS AND DEMOLITION PLAN**









NH R-30  
 TOP 773.47  
 INV IN 773.97 R-20.1  
 INV OUT 773.92

NH R-30  
 TOP 780.33  
 INV IN 774.58 R-30.1  
 INV IN 774.58 R-31  
 INV OUT 774.53

GROSS EASTWARD QUANTITIES:  
 CUT: 1000 CF FILL: 5879 CF  
 NET: 4879 CF IMPACT

NOTES: VOLUMES IN EXCESS OF 1000 CUBIC FEET SHALL BE SUBMITTED TO THE LOCAL HEALTH DEPARTMENT FOR REVIEW AND APPROVAL.

INV IN 775.13  
 INV OUT 775.04

GA STATE ROUTE 81  
 PL. EMORY STREET (160' R/W)  
 20' PAVED

COLLINGSWORTH STREET  
 20' PAVED

WATSON STREET

ASBURY STREET (14.1' R/W)  
 18' PAVED

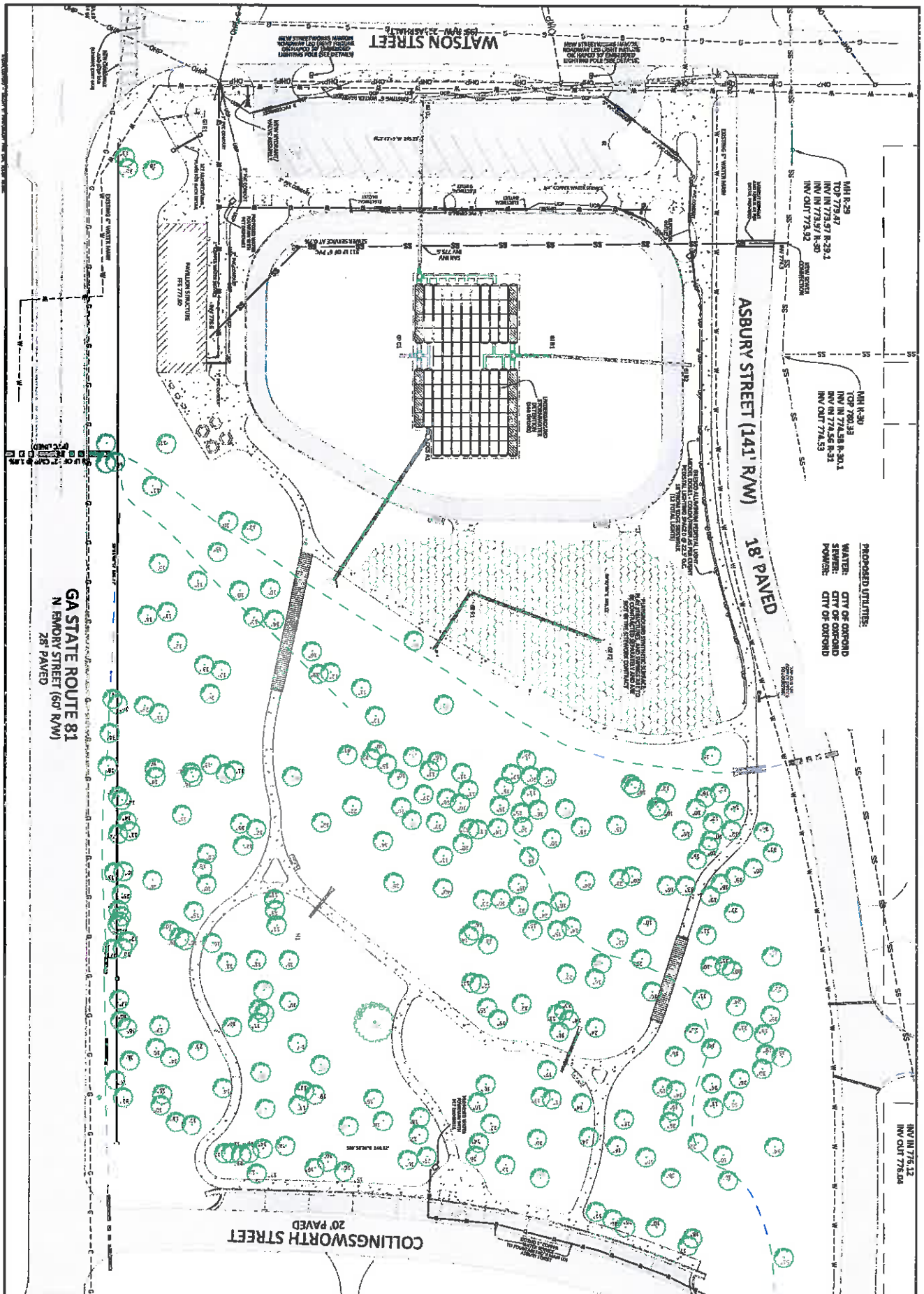
Sheet No.	Revision	Date
4	Asbury Street Park	09/20/19
	Preparation for city review	09/20/19
	Preparation for city review	09/20/19
	2024/09/20/19	09/20/19
	2024/09/20/19	09/20/19

**Asbury Street Park**  
 City of Oxford, Newton County, Georgia

**GRADING AND DRAINAGE PLAN**



**JORDAN**  
 ENGINEERING, INC.  
 10000 WOODBRIDGE BLVD., SUITE 100  
 ROSWELL, GA 30076  
 770.422.1100  
 www.jordan-engineering.com



MH R-29  
 TOP 779.47  
 INV IN 773.97 R-29.1  
 INV IN 773.97 R-30  
 INV OUT 773.32

MH R-30  
 TOP 780.33  
 INV IN 774.28 R-30.1  
 INV IN 774.28 R-31  
 INV OUT 774.53

PROPOSED UTILITIES:  
 WATER: CITY OF OXFORD  
 SEWER: CITY OF OXFORD  
 POWER: CITY OF OXFORD

INV IN 776.13  
 INV OUT 776.04

GA STATE ROUTE 81  
 N EMORY STREET (60' R/W)  
 28' PAVED

ASBURY STREET (141' R/W)  
 18' PAVED

COLLINGSWORTH STREET  
 20' PAVED

Asbury Street Park  
 City of Oxford, Newton County, Georgia

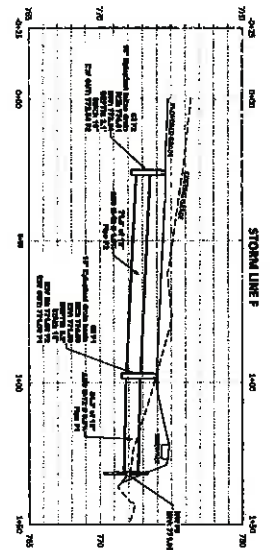
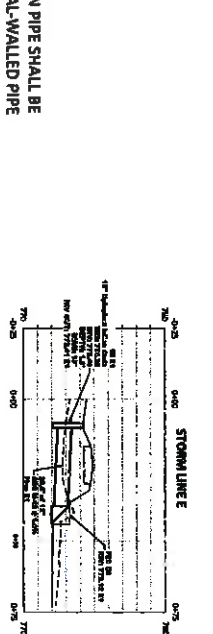
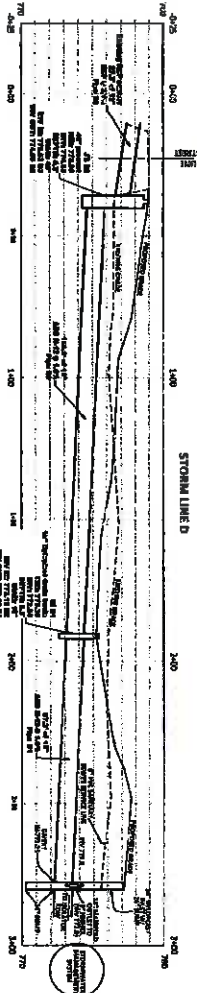
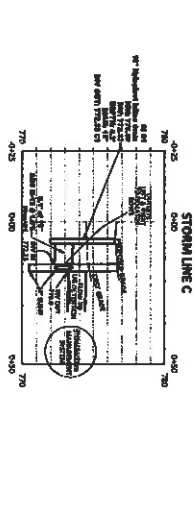
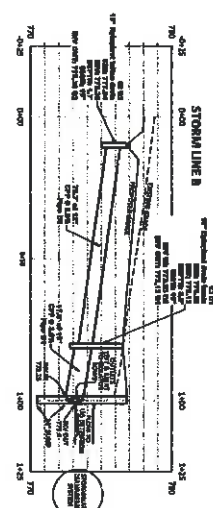
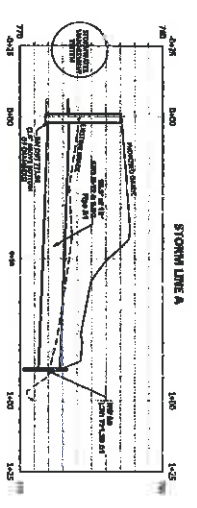
UTILITY AND LIGHTING PLAN



**JORDAN**  
 ENGINEERING, INC.  
 1414 PROFFER BL. MONROVILLA, GA 30149  
 TEL: 404-252-0700 FAX: 404-252-0702  
 A Land Planning & Surveying State-Certified Firm

Sheet No. 5

NO.	DESCRIPTION	DATE
1	Asbury Street Park	06/14/18
2	Design plan for city review	06/14/18
3	Design plan for city review	06/14/18
4	Design plan for city review	06/14/18
5	Design plan for city review	06/14/18
6	Design plan for city review	06/14/18
7	Design plan for city review	06/14/18
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24	Design plan for city review	06/14/18
25	Design plan for city review	06/14/18
26	Design plan for city review	06/14/18
27	Design plan for city review	06/14/18
28	Design plan for city review	06/14/18
29	Design plan for city review	06/14/18
30	Design plan for city review	06/14/18
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47	Design plan for city review	06/14/18
48	Design plan for city review	06/14/18
49	Design plan for city review	06/14/18
50	Design plan for city review	06/14/18



STORM DRAIN PIPE SHALL BE ADS-N-12 DUAL-WALLED PIPE OR APPROVED EQUAL.

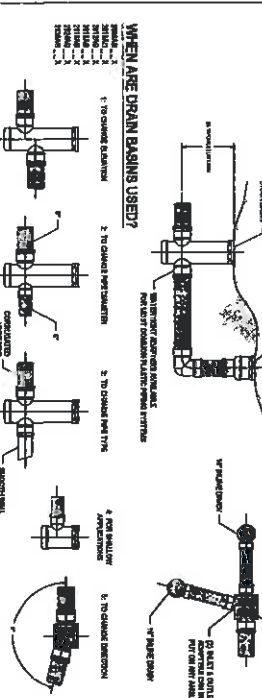
INLETS SHALL BE NYLOPLAST INLINE DRAINS OR DRAIN BASINS AS PER PLANS AND DETAIL SHEET 15 OR APPROVED EQUAL.

SEE SHEET 15 FOR NYLOPLAST INLET/DRAIN DETAILS

**WHEN ARE INLINE DRAINS USED?**

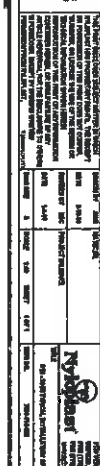
- 1. WHEN THE DRAIN IS TO BE INSTALLED IN A STREET OR DRIVEWAY.
- 2. WHEN THE DRAIN IS TO BE INSTALLED IN A SIDEWALK OR PLAZA.
- 3. WHEN THE DRAIN IS TO BE INSTALLED IN A PARKING LOT OR DRIVEWAY.
- 4. WHEN THE DRAIN IS TO BE INSTALLED IN A DRIVEWAY OR SIDEWALK.
- 5. WHEN THE DRAIN IS TO BE INSTALLED IN A DRIVEWAY OR SIDEWALK.

**TYPICAL INSTALLATIONS**



**WHEN ARE DRAIN BASINS USED?**

- 1. TO BE IN A DRIVEWAY.
- 2. TO BE IN A DRIVEWAY.
- 3. TO BE IN A DRIVEWAY.
- 4. TO BE IN A DRIVEWAY.
- 5. TO BE IN A DRIVEWAY.
- 6. TO BE IN A DRIVEWAY.



SEE SHEET 15 FOR NYLOPLAST INLET/DRAIN DETAILS

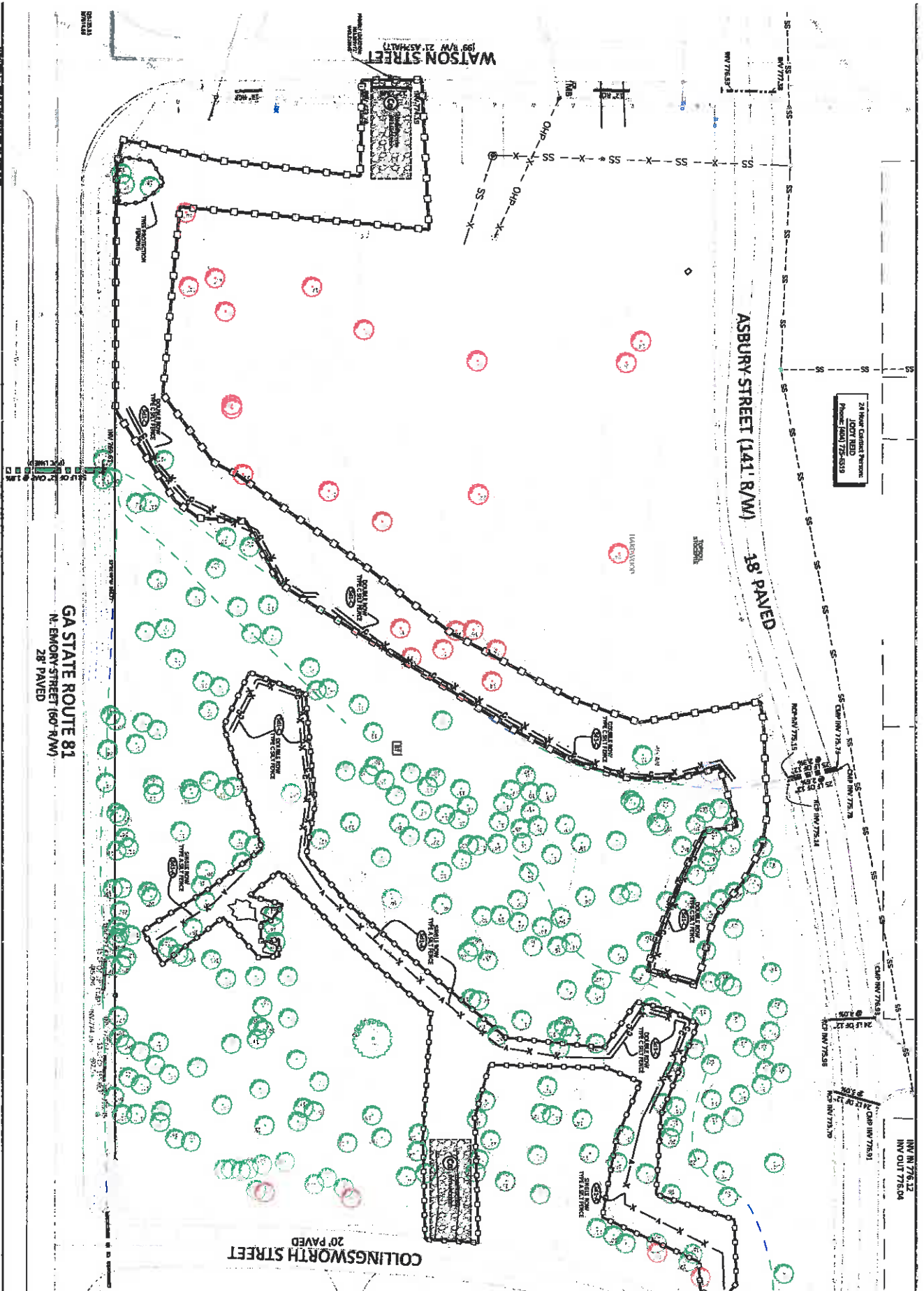
Rev	Revision Description	Date
01	As per city center	06/12/10
02	As per city center	06/17/10
03	As per city center	06/17/10
04	As per city center	06/17/10
05	As per city center	06/17/10
06	As per city center	06/17/10
07	As per city center	06/17/10
08	As per city center	06/17/10
09	As per city center	06/17/10
10	As per city center	06/17/10

Asbury Street Park  
City of Oxford, Newton County, Georgia

**STORM DRAIN PROFILES**







Item	Description	Date
1	Asbury Street Park	01/11/12
2	Proposed plan for city review	02/12/12
3	City review and approval	03/12/12
4	Final plan - Construction phase started	05/12/12

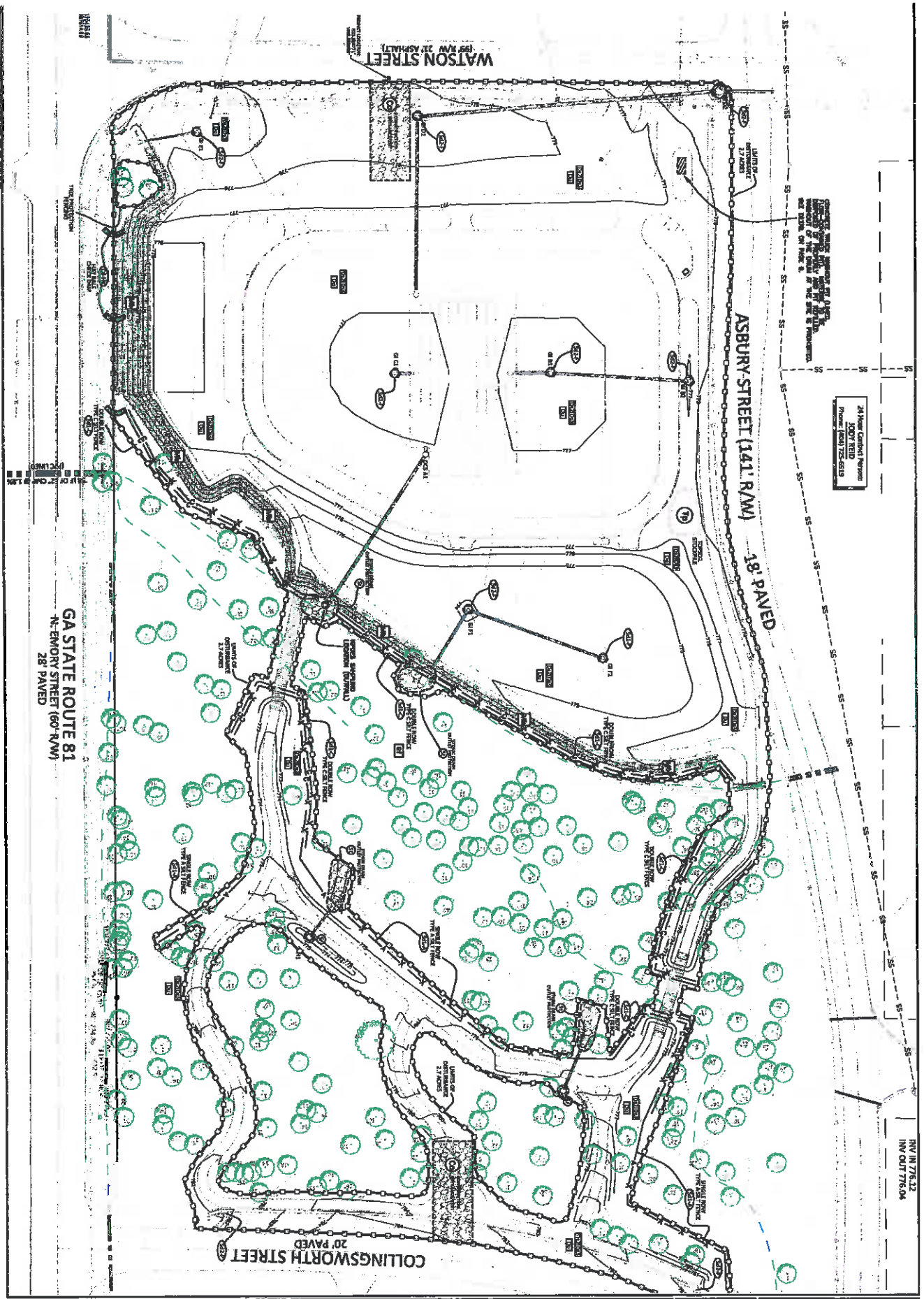
**Asbury Street Park**  
City of Oxford, Newton County, Georgia

**PHASE 1  
EROSION CONTROL  
PLAN**



**JORDAN**  
ENGINEERING, INC.  
1100 W. Peachtree Street, Suite 1000  
Atlanta, Georgia 30309  
Tel: 770-550-4530  
Fax: 770-550-4531  
www.jordan-engineering.com





24 Hour Contact Number:  
 SCOTT REED  
 Phone: (404) 752-6218

THESE EROSION CONTROL MEASURES ARE TO BE INSTALLED AT THE TIME OF THE FINAL GRADING AND CONSTRUCTION OF THE PROJECT AND MUST BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

INV. N. 775.12  
 INV. OUT 775.04

GA STATE ROUTE 81  
 N. EMORY STREET (60' R/W)  
 28' PAVED

ASBURY STREET (141' R/W)  
 18' PAVED

WATSON STREET  
 141' R/W 28' ASPHALT

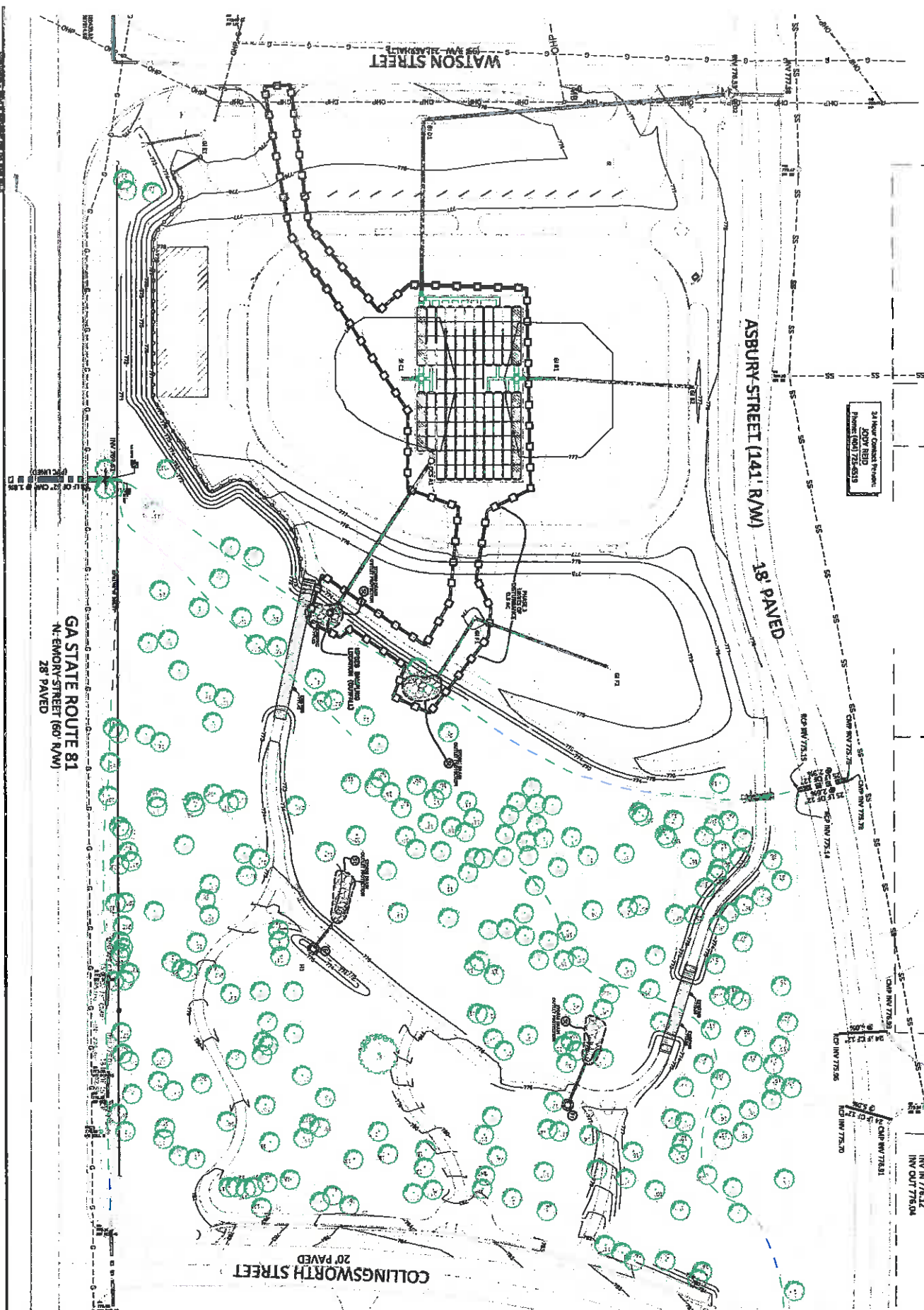
COLLINGSWORTH STREET  
 20' PAVED

NO.	DESCRIPTION	DATE
1	DESIGN	10/15/11
2	PERMITS	11/15/11
3	CONSTRUCTION	12/15/11
4	FINAL	01/15/12
5	AS-BUILT	02/15/12
6	FINAL	03/15/12
7	FINAL	04/15/12

Asbury Street Park  
 City of Oxford, Newton County, Georgia

PHASE 2  
 EROSION CONTROL  
 PLAN





Symbol	Description	Date
1	Proposed grade line	04/15/12
2	Proposed grade line	04/15/12
3	Proposed grade line	04/15/12
4	Proposed grade line	04/15/12
5	Proposed grade line	04/15/12
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100	Proposed grade line	04/15/12

Asbury Street Park  
 City of Oxford, Newton County, Georgia

**PHASE 3  
 EROSION CONTROL  
 PLAN**







**GENERAL SITE INFORMATION:**

1. EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
2. EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.

**PROJECT NARRATIVE DESCRIPTION:**

The project consists of the construction of a new 12" diameter sanitary sewer main and 24" diameter storm sewer main along the north side of the property. The project also includes the installation of a new 24" diameter storm sewer manhole and a new 12" diameter sanitary sewer manhole. The project is located on the north side of the property, adjacent to the existing 12" diameter sanitary sewer main and 24" diameter storm sewer main.

**RECEIVING WATERS:**

The receiving waters for this project are the existing 12" diameter sanitary sewer main and 24" diameter storm sewer main. The project is designed to discharge into these existing lines.

**EXISTING SURROUNDING USES:**

The existing surrounding uses for this project are residential. The project is located in a residential area and is designed to be compatible with the surrounding uses.

**7-2400 INSPECTION**

The contractor shall provide a 7-2400 inspection of the project. The 7-2400 inspection shall be conducted by a qualified professional engineer or a qualified professional surveyor. The 7-2400 inspection shall be conducted at the time of construction and shall be conducted in accordance with the requirements of the Georgia Department of Transportation (DOT).

**REVISIONS WITH HYDRAULIC COMPONENT**

The contractor shall provide a hydraulic component of the project. The hydraulic component shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The hydraulic component shall be designed to provide a minimum flow of 100 cfs.

**401 PERMIT**

The contractor shall obtain a 401 permit from the Georgia Department of Transportation (DOT). The 401 permit shall be obtained in accordance with the requirements of the DOT. The 401 permit shall be obtained before construction begins.

**25-FOOT BUFFERS**

The contractor shall provide a 25-foot buffer around the project. The 25-foot buffer shall be provided in accordance with the requirements of the Georgia Department of Transportation (DOT). The 25-foot buffer shall be provided to protect the project from adjacent properties.

**PREVENT ESCAPE OF SEDIMENT**

The contractor shall provide a system to prevent the escape of sediment from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to prevent sediment from being carried off-site by wind or water.

**ADDITIONAL MEASURES**

The contractor shall provide additional measures to protect the project. The additional measures shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The additional measures shall be designed to protect the project from adjacent properties.

**STABILIZE EXPOSED DISTURBANCE**

The contractor shall provide a system to stabilize exposed disturbance from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to stabilize exposed disturbance from being carried off-site by wind or water.

**POLLUTION CONTROL NOTES:**

The contractor shall provide a system to control pollution from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to control pollution from being carried off-site by wind or water.

**SMALL CLEANUP AND CONTROL PRACTICES**

The contractor shall provide a system to control small cleanup and control practices from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to control small cleanup and control practices from being carried off-site by wind or water.

**HAZARDOUS WASTES:**

The contractor shall provide a system to control hazardous wastes from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to control hazardous wastes from being carried off-site by wind or water.

**EROSION CONTROL EQUIPPING MAINTENANCE:**

The contractor shall provide a system to equip and maintain erosion control equipment. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to equip and maintain erosion control equipment from being carried off-site by wind or water.

**PERMITS TO INSTALLATION OF EROSION CONTROL EQUIPMENT:**

The contractor shall provide a system to obtain permits for the installation of erosion control equipment. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to obtain permits for the installation of erosion control equipment from being carried off-site by wind or water.

**SECONDARY PERMITTES:**

The contractor shall provide a system to obtain secondary permits for the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to obtain secondary permits for the project from being carried off-site by wind or water.

**V.G.S.D CERTIFICATION:**

The contractor shall provide a system to obtain V.G.S.D certification for the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to obtain V.G.S.D certification for the project from being carried off-site by wind or water.

**PART IV CERTIFICATION:**

The contractor shall provide a system to obtain Part IV certification for the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to obtain Part IV certification for the project from being carried off-site by wind or water.

**GENERAL NOTES:**

The contractor shall provide a system to control general notes from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to control general notes from being carried off-site by wind or water.

24 Hour Contact Person:  
**JOY HEID**  
Phone: (404) 725-6618

PRIMARY PERMITTEE:  
CITY OF GORDON, GEORGIA  
1000 GORDON AVENUE, SUITE 200  
GORDON, GA 30097  
Phone: (404) 725-6618

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CERTIFICATIONS FROM THE CITY OF GORDON.

**EROSION & SEDIMENT CONTROL NOTES:**

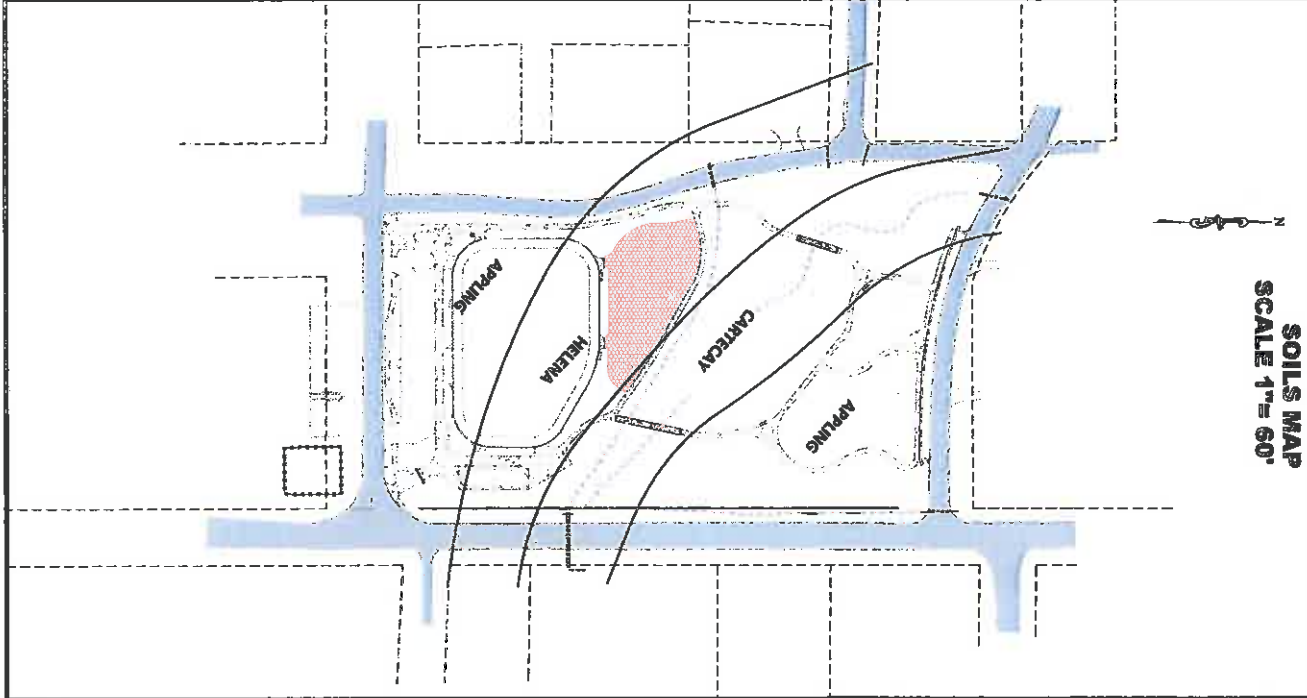
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50. EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.

**IMPAIRED STREAM SEDIMENT BANKS:**

The contractor shall provide a system to control impaired stream sediment banks from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to control impaired stream sediment banks from being carried off-site by wind or water.

**TOTAL INFORMATION:**

The contractor shall provide a system to control total information from the project. The system shall be designed in accordance with the requirements of the Georgia Department of Transportation (DOT). The system shall be designed to control total information from being carried off-site by wind or water.



<p><b>ASBURY STREET PARK</b> City of Gordon, Newton County, Georgia</p>	<p><b>EROSION CONTROL NOTES AND INFORMATION</b></p>		<p>Sheet No. <b>10</b></p>
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**NPDES INSPECTIONS, SAMPLING, AND RECORD REQUIREMENTS**

State of Georgia  
Department of Natural Resources  
Environmental Protection Division

State of Georgia  
Department of Natural Resources  
Environmental Protection Division

State of Georgia  
Department of Natural Resources  
Environmental Protection Division

1. **Inspections**

1.1. **Preconstruction**

(1) The permittee shall conduct preconstruction inspections of all construction projects that require a permit under this permit. The permittee shall conduct preconstruction inspections of all construction projects that require a permit under this permit. The permittee shall conduct preconstruction inspections of all construction projects that require a permit under this permit.

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State of Georgia  
Department of Natural Resources  
Environmental Protection Division

State of Georgia  
Department of Natural Resources  
Environmental Protection Division

State of Georgia  
Department of Natural Resources  
Environmental Protection Division

2. **Sampling**

2.1. **Sampling Methods**

(1) The permittee shall use the following methods for sampling: (a) Grab samples; (b) Composite samples; (c) Flow-proportioned samples; (d) Time-integrated samples; (e) Other methods approved by the permittee.

2. **Sampling**

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(1) The permittee shall use the following methods for sampling: (a) Grab samples; (b) Composite samples; (c) Flow-proportioned samples; (d) Time-integrated samples; (e) Other methods approved by the permittee.

3. **Record Keeping**

3.1. **Inspection Records**

(1) The permittee shall maintain records of all inspections conducted under this permit. The records shall include the date, time, location, and results of each inspection.

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**APPENDIX B TABLE**

Water Sampling Station Number

Station Number	Latitude	Longitude	Station Name
1001	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1002	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1003	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1004	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1005	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1006	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1007	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1008	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1009	33° 45' 00" N	82° 00' 00" W	Asbury Street Park
1010	33° 45' 00" N	82° 00' 00" W	Asbury Street Park

24 Hour Contact Person  
**JOEY WILD**  
Phone: (404) 725-6919



**NPDES PERMIT INFO**

Asbury Street Park  
City of Oxford, Newton County, Georgia

Revision	Description	Date
01	Initial Issue	06/12/2010
02	Revised	06/12/2010
03	Revised	06/12/2010
04	Revised	06/12/2010
05	Revised	06/12/2010
06	Revised	06/12/2010
07	Revised	06/12/2010
08	Revised	06/12/2010
09	Revised	06/12/2010
10	Revised	06/12/2010

PROJECT INFORMATION	
PROJECT NO.	17
DATE	08/11/2017
PROJECT NAME	ASHBURY PARK
PROJECT ADDRESS	OXFORD, GEORGIA
CLIENT	CITY OF OXFORD
DESIGNER	JORDAN ENGINEERS
SCALE	AS SHOWN



**ASHBURY PARK**  
OXFORD, GEORGIA

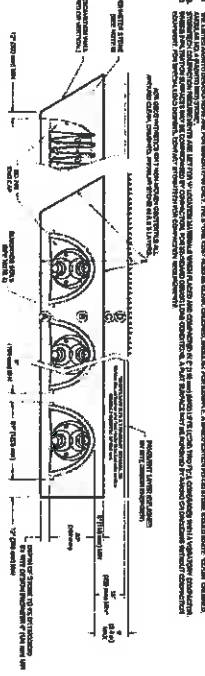
**STORMTECH CHAMBER SPECIFICATIONS**

1. Chamber shall be constructed of 12 gauge galvanized steel.
2. Chamber shall be constructed of 12 gauge galvanized steel.
3. Chamber shall be constructed of 12 gauge galvanized steel.
4. Chamber shall be constructed of 12 gauge galvanized steel.
5. Chamber shall be constructed of 12 gauge galvanized steel.
6. Chamber shall be constructed of 12 gauge galvanized steel.
7. Chamber shall be constructed of 12 gauge galvanized steel.
8. Chamber shall be constructed of 12 gauge galvanized steel.
9. Chamber shall be constructed of 12 gauge galvanized steel.
10. Chamber shall be constructed of 12 gauge galvanized steel.

**IMPORTANT NOTES FOR THE ROOM AND INSTALLATION OF THE STORMTECH SYSTEM**

1. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
2. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
3. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
4. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
5. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
6. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
7. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
8. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
9. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
10. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.

MATERIAL LOCATION	DESCRIPTION	AMOUNT MATERIAL	COMPARISON / COMMENT
A	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
B	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
C	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
D	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
E	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
F	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
G	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
H	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
I	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
J	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
K	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
L	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
M	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
N	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
O	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
P	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
Q	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
R	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
S	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
T	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
U	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
V	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
W	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
X	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
Y	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS
Z	12 GAUGE GALVANIZED STEEL	1000 LBS	SEE SPECIFICATIONS



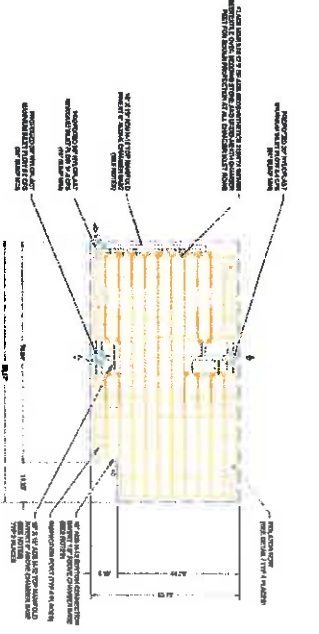
- NOTES**
1. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  2. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  3. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  4. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  5. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  6. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  7. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  8. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  9. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.
  10. The stormwater chamber shall be installed in a location that is accessible for inspection and maintenance.

ASHBURY PARK  
OXFORD, GEORGIA

Scale: 1/4" = 1'-0"

3 OF 5

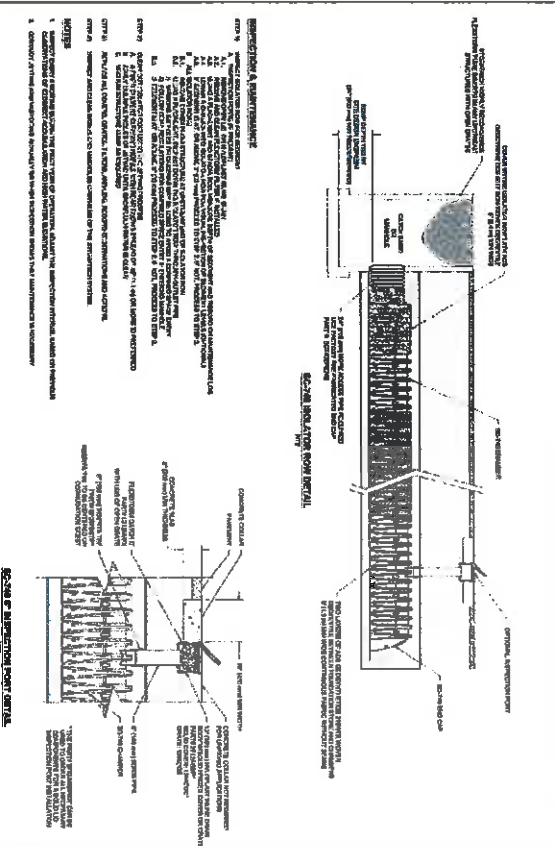
- PROPOSED LAYOUT**
1. Chamber shall be constructed of 12 gauge galvanized steel.
  2. Chamber shall be constructed of 12 gauge galvanized steel.
  3. Chamber shall be constructed of 12 gauge galvanized steel.
  4. Chamber shall be constructed of 12 gauge galvanized steel.
  5. Chamber shall be constructed of 12 gauge galvanized steel.
  6. Chamber shall be constructed of 12 gauge galvanized steel.
  7. Chamber shall be constructed of 12 gauge galvanized steel.
  8. Chamber shall be constructed of 12 gauge galvanized steel.
  9. Chamber shall be constructed of 12 gauge galvanized steel.
  10. Chamber shall be constructed of 12 gauge galvanized steel.



ASHBURY PARK  
OXFORD, GEORGIA

Scale: 1/4" = 1'-0"

2 OF 5



ASHBURY PARK  
OXFORD, GEORGIA

Scale: 1/4" = 1'-0"

4 OF 5



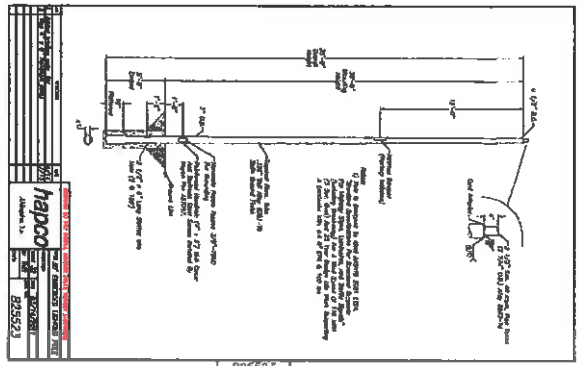
**UNDERGROUND DETENTION DETAILS 1**

Asbury Street Park  
City of Oxford, Newton County, Georgia

17	Sheet No.
----	-----------



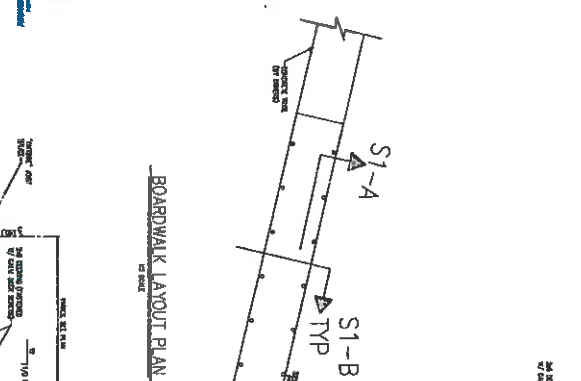




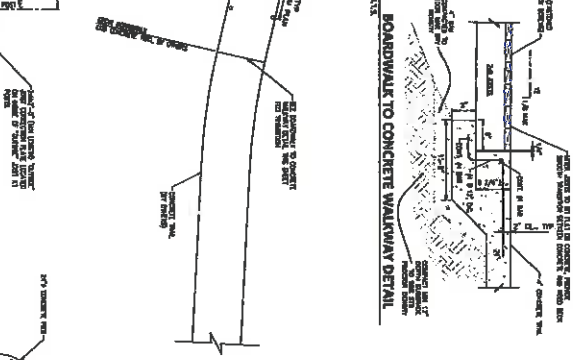
PARKING AREA LIGHT POLE DETAIL



ANCHOR PLATE



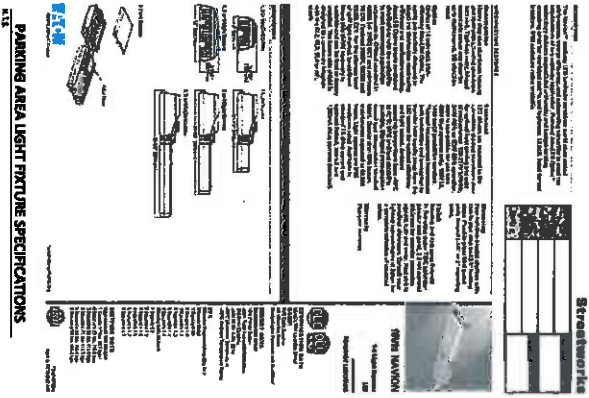
BOARDWALK LAYOUT PLAN



BOARDWALK TO CONCRETE WALKWAY DETAIL

**GENERAL NOTES**

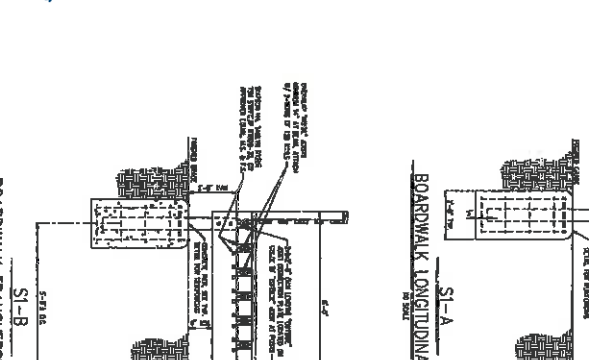
1. BOARDWALK SHALL BE 12' WIDE.
2. BOARDWALK SHALL BE 12' WIDE.
3. BOARDWALK SHALL BE 12' WIDE.
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5. BOARDWALK SHALL BE 12' WIDE.
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10. BOARDWALK SHALL BE 12' WIDE.



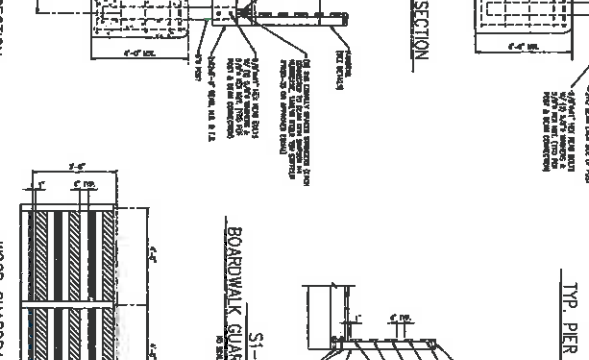
STREETLIGHTS



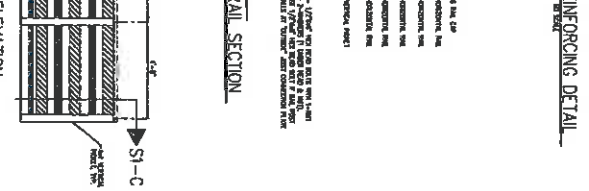
PEDESTRIAN ROLLUP LIGHTING SPECIFICATIONS



BOARDWALK LONGITUDINAL SECTION



BOARDWALK TRANSVERSE SECTION



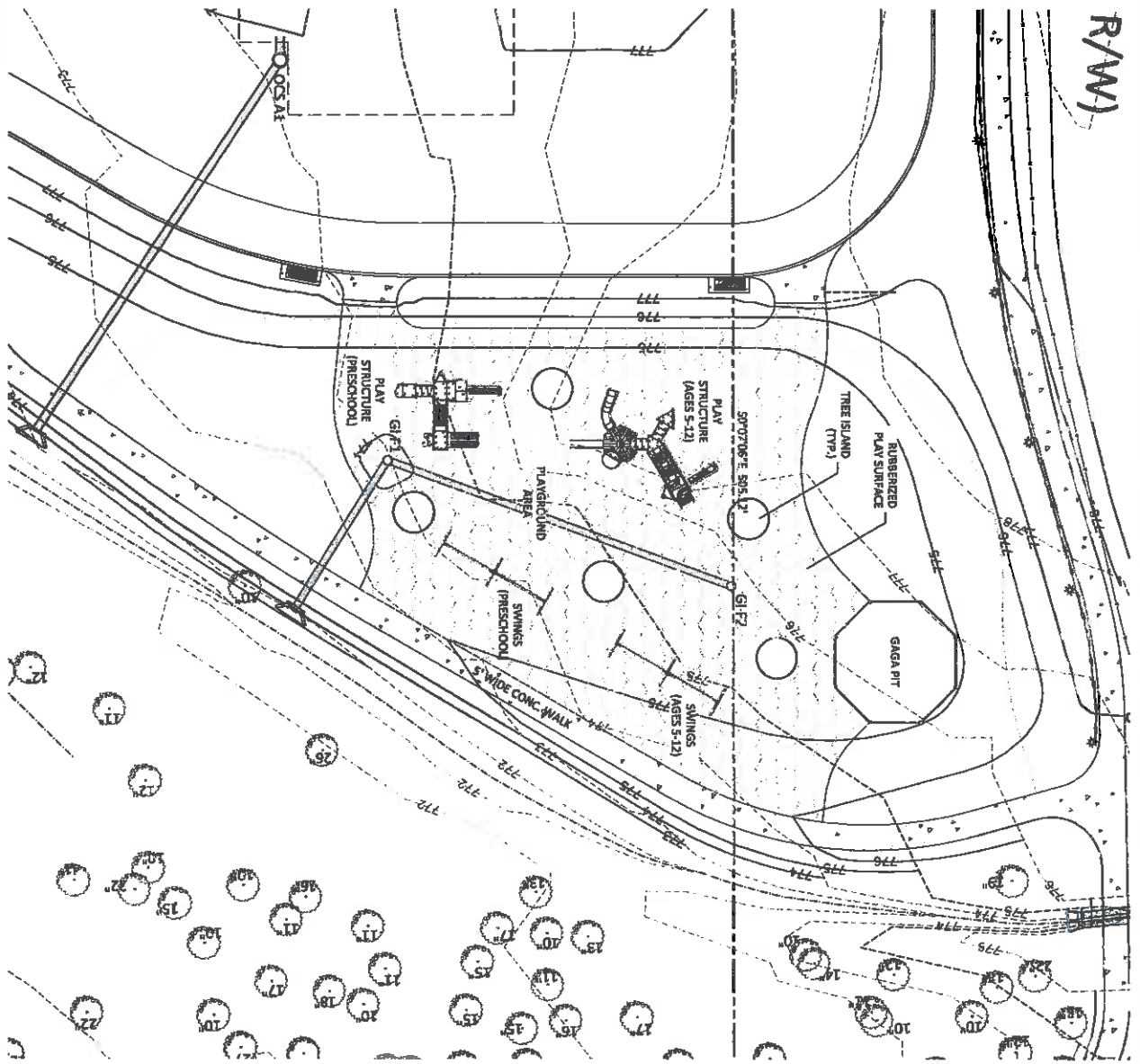
WOOD GUARDRAIL ELEVATION

Rev	Description	Date
01	Program update	04/20/10
02	Program update	04/20/10
03	Program update	04/20/10
04	Program update	04/20/10



**BOARDWALK AND LIGHT FIXTURE DETAILS**

R/W



**PLAYGROUND EQUIPMENT**  
 ALL PLAYGROUND EQUIPMENT SHALL BE MANUFACTURED BY A COMPANY THAT IS APPROVED BY THE STATE OF GEORGIA. THE EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENTLY APPLICABLE GEORGIA PLAYGROUND SAFETY STANDARDS. THE EQUIPMENT SHALL BE MAINTAINED IN ACCORDANCE WITH THE CURRENTLY APPLICABLE GEORGIA PLAYGROUND SAFETY STANDARDS. THE EQUIPMENT SHALL BE MAINTAINED IN ACCORDANCE WITH THE CURRENTLY APPLICABLE GEORGIA PLAYGROUND SAFETY STANDARDS.

DATE: 08/11/11  
 SCALE: 1" = 10'-0"  
 SHEET 1 OF 3

**Preliminary  
 Playground  
 Site Plan**

**Asbury Park**  
 Emory Street  
 City of Oxford  
 Newton County, Georgia

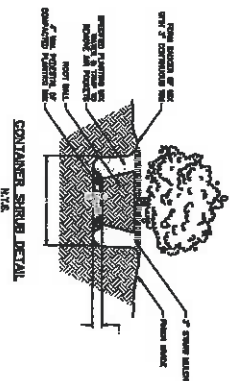
**Lakeside  
 Land Design, LLC**  
 Landscape Architecture + Landscape Design  
 P.O. Box 221 • Buckhead, Georgia 30625 • Phone: (770) 417-2099

PROVIDER:  
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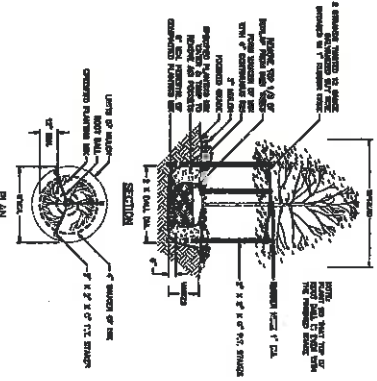




**LIGHTING NOTES**  
 ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.



**CONTAINER SHRUB DETAIL**  
 N.T.S.



**DECIDUOUS TREE PLANTING/STAKING DETAIL**  
 N.T.S.

**Lumber**

1800-04

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**BRILLIANT LIGHT**  
 N.T.S.

**Streetworks**

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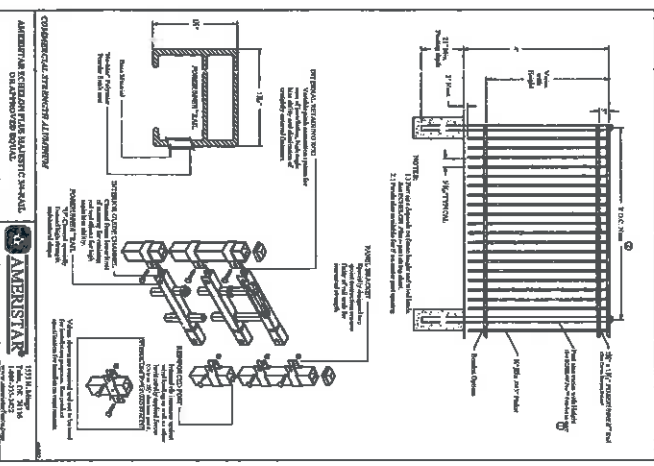
1800-97

1800-98

1800-99

1800-100

**PARSONS LOT LIGHT**  
 N.T.S.



**FENCE DETAIL**  
 N.T.S.

**PLANT LIST**

QUANTITY	COMMON NAME	SYMBOLIC NAME	SIZE
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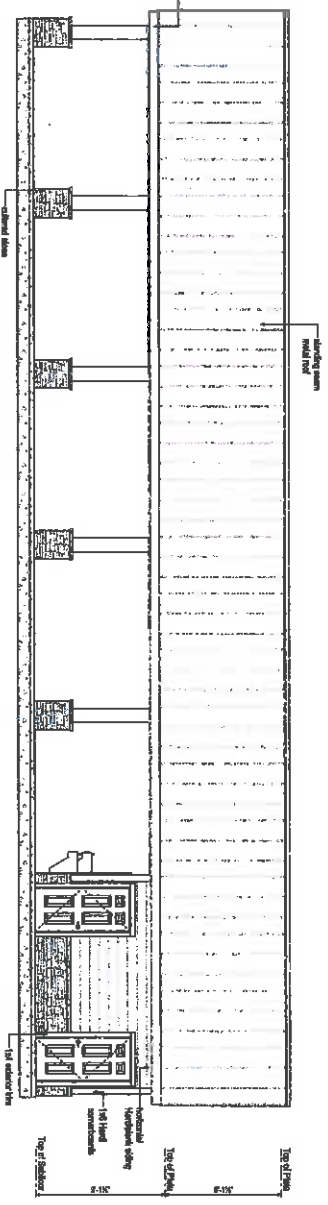
COMMERCIAL STRUCTURE AT LANTANA  
 AMERICAN SYSTEMS OF PLASTIC PANELS  
 DIMENSIONS SHOWN  
**AMERISTAR**  
 11111 LANTANA  
 1800-55-1000



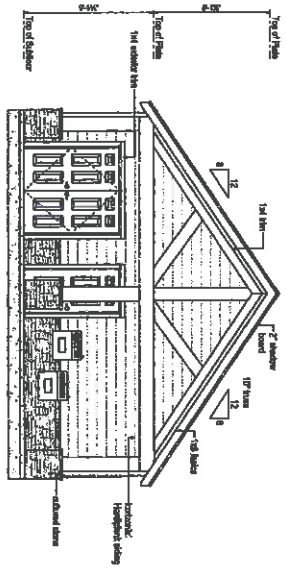
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES. HOWEVER STATE AND LOCAL CODES VARY WIDELY. THE DRAFTSMAN, JOHN K. HONEA, SHALL NOT BE HELD LIABLE FOR ANY ERRORS. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. DO NOT SCALE DRAWINGS. USE ONLY THE PRINTED DIMENSIONS. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE ENERGY REQUIREMENTS. ALL DIMENSIONS ARE TAKEN FROM TO ROCKER STUDS OF A WINDOW OR EITHER 5/16" (2x4 STUDS) OR TO THE OUTSIDE OF WINDOW. CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE. DESIGNER'S FINANCIAL LIABILITY SHALL BE LIMITED TO HALF OF THE ACTUAL CONTRACT PRICE OF \$400 HOME DESIGN.

ALL EXTERIOR MATERIALS TO BE HARDI BASED PRODUCTS

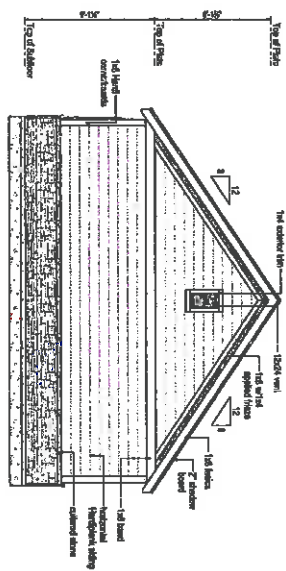
SIMPSON CONNECTORS RECOMMENDED BY MATERIALS SUPPLIER  
 ABUS6 POST BASE  
 H3T2 RAFTER TIE



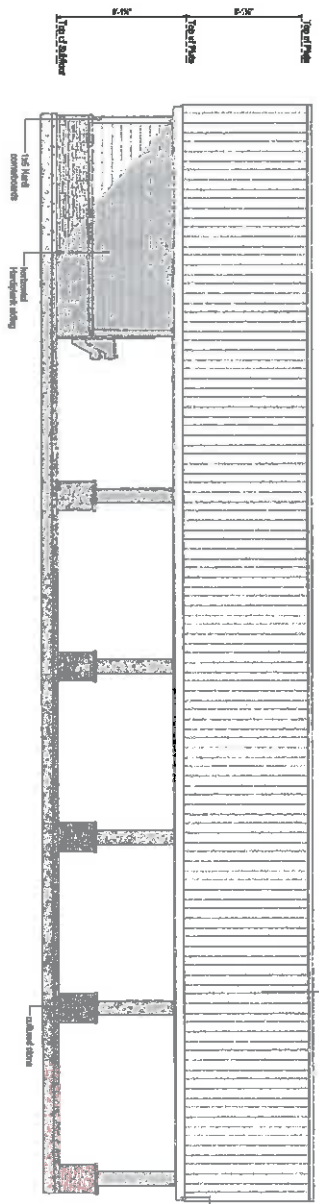
Front Elevation  
 SCALE: 1/4" = 1'-0"



Left Elevation  
 SCALE: 1/4" = 1'-0"



Right Elevation  
 SCALE: 1/4" = 1'-0"



Rear Elevation  
 SCALE: 1/4" = 1'-0"

**SOFTPLAN**  
 PROFESSIONAL DESIGN SOFTWARE

DATE	DESCRIPTION
12-1	ISSUE

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0000 JOB NUMBER: 15.0715

DRAWN BY: JOHN K. HONEA

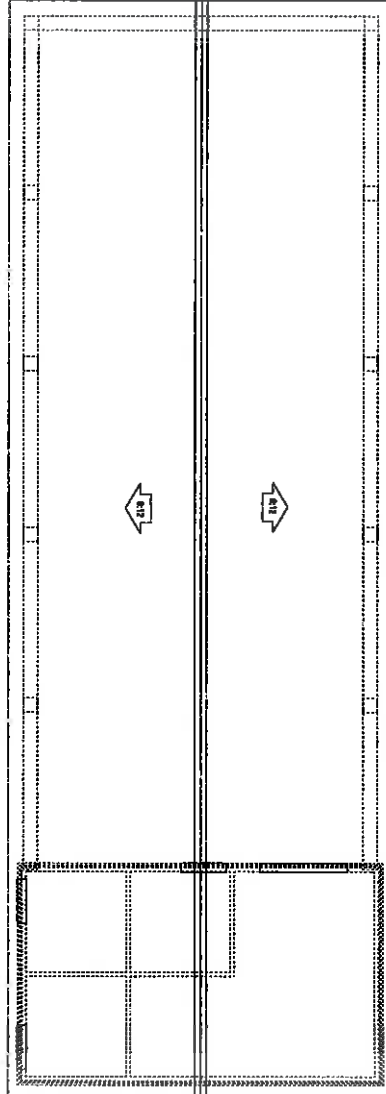
Favillon Design  
 City of Oxford

Elevations

www.olde-south.com 81086 New Circle, Greenwood, VA 22642  
 Phone: (540) 722-2119 Fax: (540) 722-2119

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES HOWEVER STATE AND LOCAL CODES MAY VARY. THE CONTRACTOR SHALL NOT BE HELD LIABLE FOR ANY ERRORS. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. DO NOT SCALE DRAWINGS, USE ONLY THE PRINTED DIMENSIONS. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS. ALL DIMENSIONS ARE TAKEN FROM TOUGH STUDS OF A DIMENSION OF EITHER 1/2" (2x4 STUDS), 3/4" (2x4 STUDS) OR TO THE OUTSIDE OF MASONRY. CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE. DESIGNER'S FINANCIAL LIABILITY SHALL BE LIMITED TO HALF OF THE ACTUAL CONTRACT PRICE OF \$48 HOME DESIGN.

Roof Elevation  
Scale: 1/4" = 1'-0"



SOFTWARE  
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Autodesk  
AutoCAD  
2011  
E2

DATE	DESCRIPTION

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DEDS JOB NUMBER: 16.0715

DRAWN BY: JOHN K. HONER

Pavilion Design  
City of Oxford

Roof Elevation

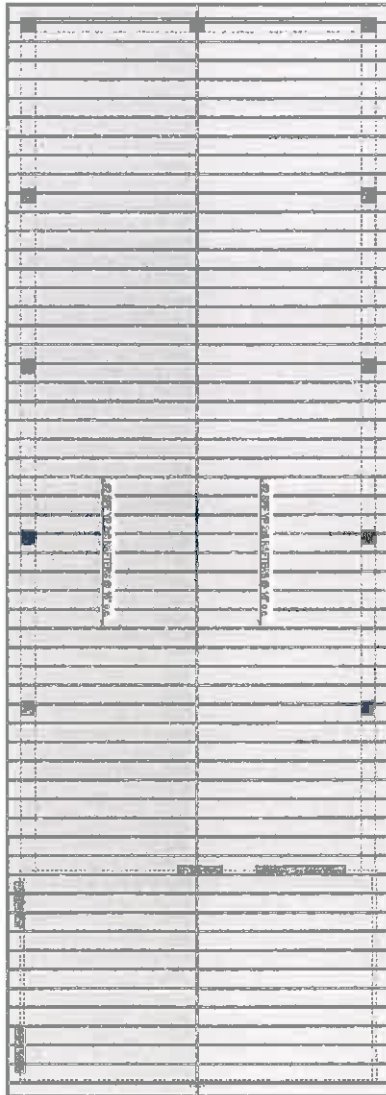
www.oldesouthdesign.com 819 Malabar Circle, Gresham, OR 97030  
Phone: 503.635.4835 Email: John@oldesouth.com



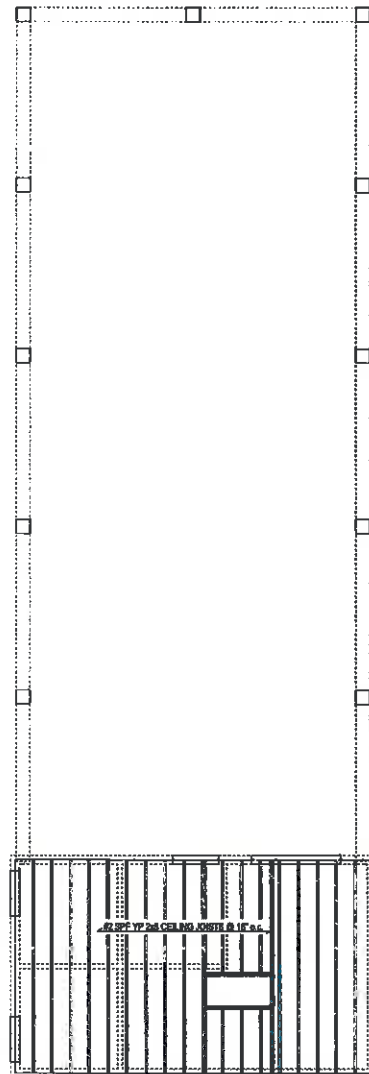


ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER STATE AND LOCAL CODES VARY WIDELY. THE DRAFTSMAN, JOHN K. HOWER, SHALL NOT BE HELD LIABLE FOR ANY ERRORS. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. DO NOT SCALE DRAWINGS. USE ONLY THE PRINTED DIMENSIONS. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE CODES RECOMMENDATIONS. ALL DIMENSIONS ARE TAKEN FROM TOUGH STUDS OF A DIMENSION OF EITHER 12" OR 24" STUDS. 1" IS TO THE OUTSIDE OF WINDOW. CONTRACTOR SHALL VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE. DESIGNER'S FINANCIAL LIABILITY SHALL BE LIMITED TO HALF OF THE ACTUAL CONTRACT PRICE OF SAID HOME DESIGN.

Pavilion - ROOF  
SCALE: 1/8" = 1'-0"



Pavilion - CEILING  
SCALE: 1/8" = 1'-0"



SOFTPLAN  
ARCHITECTURAL SOFTWARE

VERSION: 11.0  
R1

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ODES JOB NUMBER: 18.0716

DRAWN BY: JOHN K. HOWER

Pavilion Design  
City of Oxford

Framing

252128 6122122  
www.olde-south.com 1189 Palmetto Creek, Tallahassee, FL 32342  
Phone: (904) 937-4430 Fax: (904) 937-4430





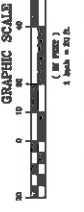
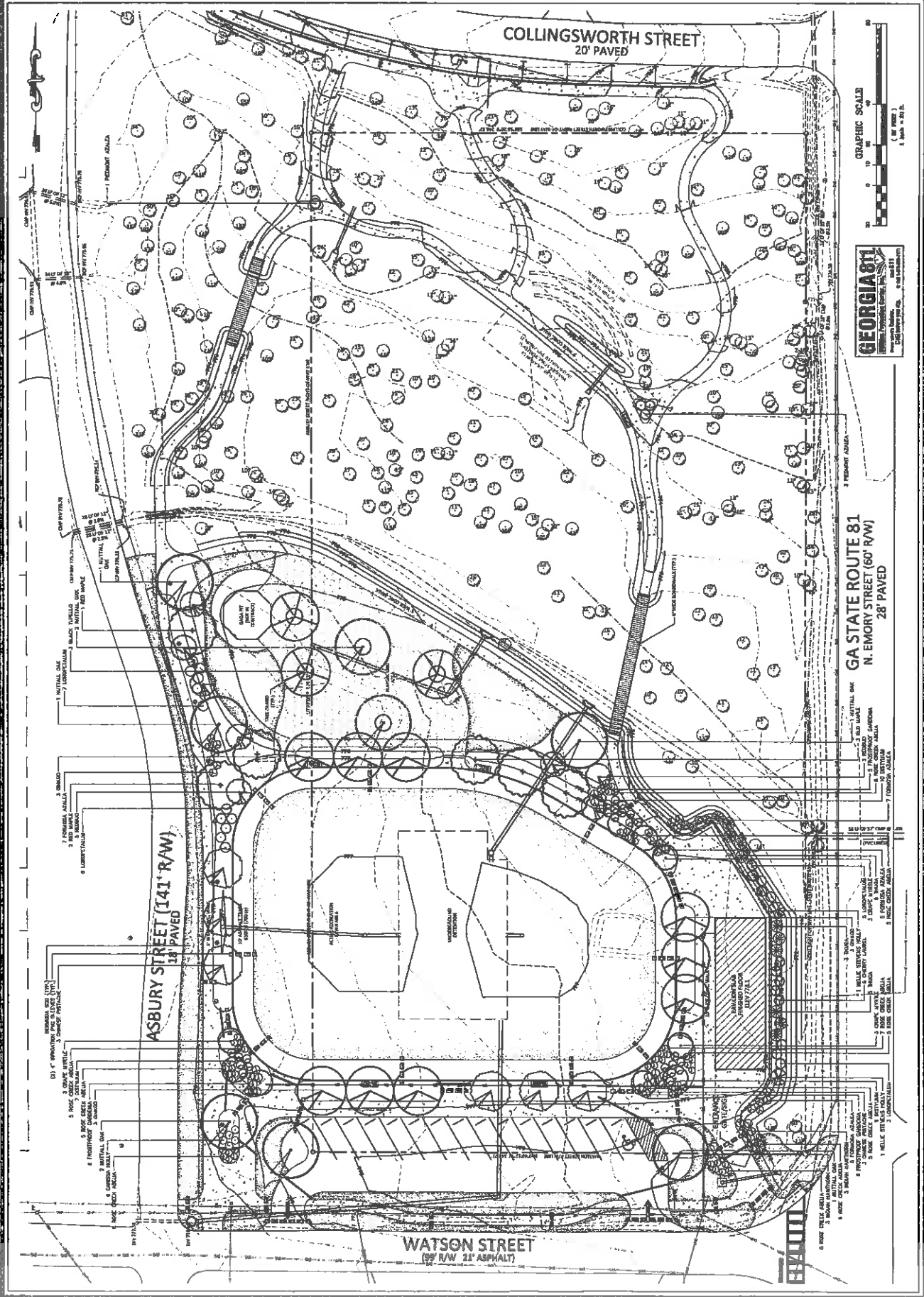
THE BOARD OF PROFESSIONAL LAND SURVEYORS OF THE STATE OF GEORGIA  
 No. 12345  
 LAND SURVEYOR

Landscapes Architecture + Landscapes Design  
 Lakeside Land Design, LLC  
 12345 Peachtree Corporate Center • Suite 1000 • Atlanta, GA 30329  
 (404) 555-1234

Asbury Park  
 Emory Street  
 City of Oxford  
 Newton County, Georgia

Landscape Plan

DATE: 05/15/2024  
 SCALE: 1" = 20'  
 SHEET 1 OF 2



GEORGIA  
 PROFESSIONAL LAND SURVEYORS  
 No. 12345  
 LAND SURVEYOR

GA STATE ROUTE 81  
 N. EMORY STREET (60' RW)  
 28' PAVED

ASBURY STREET (141' RAW)  
 18' PAVED

WATSON STREET  
 (97' RAW 21' ASPHALT)

- 1. 4" EMERALD OAK (100)
- 2. 4" WHITE BIRCH (100)
- 3. 4" RED BIRCH (100)
- 4. 4" PINE (100)
- 5. 4" LARCH (100)
- 6. 4" SPRUCE (100)
- 7. 4" FIR (100)
- 8. 4" CEDAR (100)
- 9. 4" JUNIPER (100)
- 10. 4" YEW (100)
- 11. 4" TAXUS (100)
- 12. 4" QUERCUS (100)
- 13. 4" CORYLUS (100)
- 14. 4" JUGLANS (100)
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- 16. 4" LIRIODENDRON (100)
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ESTIMATE

City of Oxford  
110 West Clark ST  
Oxford, GA 30054  
(770) 726-7004

Jaco Contracting INC.  
1094 Access Road Suite B  
Covington, Georgia 30014  
Phone: (770) 549-5399  
Web: jacocontracting.com

Estimate # 003411  
Date 06/13/2018

Description	Total
Repairs to home/ building	\$0.00
Remove old tin roof and install new tin roof with color to match city hall- \$19,000.00 Remove old tin roof and install new standing seam roof to match color of city hall- \$27,500 Demo walkway from home to garage, haul off all debris, seed and straw area once structure is gone, move electrical panel inside the home, install existing Hardie siding to close the whole once building is gone. \$6,500 Install new treated 6x6 post to stabilize the porch roof \$1000.00 Demo inside, get all windows operational, restore ceilings and repaint ceilings, prime all walls, retread window on the rear of the garage and raise the sash- \$15,500.00 Pressure wash and repaint the outside of the building- \$6,000.00 Fix the drainage issue in the between the buildings and install herman pipes around all the Crawlspace vents to keep water out of the crawl space. \$2,800.00	
<b>Subtotal</b>	<b>\$0.00</b>
<b>Total</b>	<b>\$0.00</b>

## Memorandum

**To:** Mayor and City Council  
**From:** Ad Hoc Yarbrough House Renovation Committee  
**Date:** 2 July 2018  
**Subject:** Priority Tasks for Yarbrough House renovation

Our committee received three bids from local contractors to complete essential repairs and restoration to the Yarbrough House. The scope of the work requested is the following:

- Tear down the section connecting the house with the garage, which includes relocating the electrical box and replacing siding where the section joined the house.
- Remove old roof and install a new standing seam roof.
- Install structural support posts (i.e. 4x4 or 6x6 posts) on the porch.
- Fix drainage issue between the house and garage.

Here is a comparison of the bids for this scope of work:

	JACO Contracting		Storm Pro Roofing & Restoration		Designed Installations by Jim Williams
Remove connector	25,500	6,500	25,400	5,800	28,500*
Install new roof		19,000		19,600	
Install porch posts		1,000		1,300	
Fix drainage issue		2,800		3,000	
<b>TOTAL</b>		<b>29,300</b>		<b>29,700</b>	

\* Included an additional \$26,500 in bid to reinforce the foundation for commercial use. Jim Williams did not bid on the porch and drainage work.

Our committee recommends the Council accept the bid from JACO Contracting to complete these initial repairs/restorations to the Yarbrough House.

**CITY OF OXFORD**

**RESOLUTION**

**WHEREAS**, the City of Oxford (“City”) owns certain real property more particularly described as follows (the “Property”):

**Tract One:**

All that tract or parcel of land lying and being in Land Lot 288 of the 9th Land District, City of Oxford, Newton County, State of Georgia, containing 6.34 acres, more or less, and being that same property shown and described on Boundary Retracement Survey for City of Oxford by Robert O. Jordan, Ga. RLS No. 2902, dated August 4, 2015 (Newton County Map/Parcel X003-005B).

**Tract Two:**

All that tract or parcel of land lying and being in Land Lot 288 of the 9th Land District, City of Oxford, Newton County, State of Georgia, containing 0.98 acres, more or less, and being that same property shown and described as Tract A and Tract B on Boundary and Right of Way Survey for City of Oxford by Robert O. Jordan, Ga. RLS No. 2902, dated January 16, 2015 (Newton County Map/Parcel X003-002).

**WHEREAS**, the City desires to convey the Property to the Oxford Downtown Development Authority (“DDA”) for public purposes in accordance with the City’s intergovernmental agreement with the DDA.

**NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF OXFORD**

That Property be deeded to the DDA and that the mayor shall sign all documents, including a deed, reasonably required to convey good title.

**ADOPTED THIS MONDAY, AUGUST 6, 2018.**

**BY:**

\_\_\_\_\_  
Jerry D. Roseberry, Mayor

**ATTEST:**

\_\_\_\_\_  
Lauran S. Willis, City Clerk

After recording, please return to:

C. David Strickland, PC  
Strickland & Strickland, LLP  
PO Box 70  
Covington, GA 30015-0070

Space Above This Line for Recorder's Use

**STATE OF GEORGIA**

**COUNTY OF NEWTON**

**WARRANTY DEED**

**THIS INDENTURE** is made this \_\_\_\_ day of \_\_\_\_\_, 2018, by and among **THE CITY OF OXFORD, GEORGIA, a Georgia municipal corporation, by and through its Mayor and Council** (hereinafter referred to as "**Grantor**"), and **THE DOWNTOWN DEVELOPMENT AUTHORITY OF OXFORD, GEORGIA, a Georgia body corporate and politic** (hereinafter "**Grantee**"). The words "**Grantor**" and "**Grantee**" include the neuter, masculine and feminine genders, and the singular and the plural, and their respective heirs, successors and assigns where the context hereof requires or permits.

**W I T N E S S E T H :**

**FOR AND IN CONSIDERATION** of the sum of Ten Dollars (\$10.00) in hand paid to Grantor by Grantee at and before the execution, sealing and delivery hereof, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto Grantee, and the heirs, successors, legal representatives and assigns of Grantee, all that tract or tracts or parcel or parcels of land as more particularly described on **Exhibit "A"**, attached hereto and incorporated herein by reference.

**TO HAVE AND TO HOLD** said tracts or parcels of land, together with any and all of the rights, members and appurtenances thereof to the same being, belonging or in anywise appertaining to the only proper use, benefit and behoof of Grantee forever, in fee simple; and

**GRANTOR SHALL WARRANT** and forever defend the right and title to said tract or parcel of land unto Grantee, and the heirs, successors, legal representatives and assigns of Grantee, against the claims of all persons whomsoever.

**IN WITNESS WHEREOF**, Grantor has duly executed and sealed this indenture, and delivered this indenture to Grantee, all the day and year first written above.

**GRANTOR:**

Signed, sealed and delivered  
in the presence of:

**THE CITY OF OXFORD, GEORGIA**

\_\_\_\_\_  
Unofficial Witness

By: \_\_\_\_\_  
Jerry D. Roseberry, Mayor

\_\_\_\_\_  
Notary Public

Attest: \_\_\_\_\_  
Lauran Willis, City Clerk

My Commission Expires:

{Oxford City Seal}

\_\_\_\_\_  
(NOTARIAL SEAL)

**EXHIBIT "A"**

**Tract One:**

All that tract or parcel of land lying and being in Land Lot 288 of the 9<sup>th</sup> Land District, City of Oxford, Newton County, State of Georgia, containing 6.34 acres, more or less, and being that same property shown and described on Boundary Retracement Survey for City of Oxford by Robert O. Jordan, Ga. RLS No. 2902, dated August 4, 2015 (Newton County Map/Parcel X003-005B), and further shown on the attached **Exhibit "B-1"**.

**Tract Two:**

All that tract or parcel of land lying and being in Land Lot 288 of the 9<sup>th</sup> Land District, City of Oxford, Newton County, State of Georgia, containing 0.98 acres, more or less, and being that same property shown and described as Tract A and Tract B on Boundary and Right of Way Survey for City of Oxford by Robert O. Jordan, Ga. RLS No. 2902, dated January 16, 2015 (Newton County Map/Parcel X003-002), and further shown on the attached **Exhibit "B-2"**.





REFERENCES:  
 DEED RECORD: D.B. 3264, P. 1  
 DEED RECORD: P.B. 43, P. 245  
 TAX RECORD: TAX MAP X0090, PARCEL 005

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE ERROR OF ONE FOOT IN 21,261 FEET, AND AN ANGULAR ERROR OF 04" PER ANGLE POINT, AND WAS ADJUSTED USING THE LEAST SQUARES METHOD.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 754,535 FEET.

FIELD DATA WAS COLLECTED USING A TOPCON GPT2003W ELECTRONIC TOTAL STATION LEICA TS12 ROBOTIC TOTAL STATION AND A CHAMPION TXO JAVAD TRIUMPH-15 DUAL-FREQUENCY RTK GLOBAL POSITIONING SYSTEM RECEIVER REFERENCEING THE GPS STATIONING NETWORK AND HAVING A RELATIVE POSITIONAL ACCURACY OF LESS THAN 0.04 FEET.

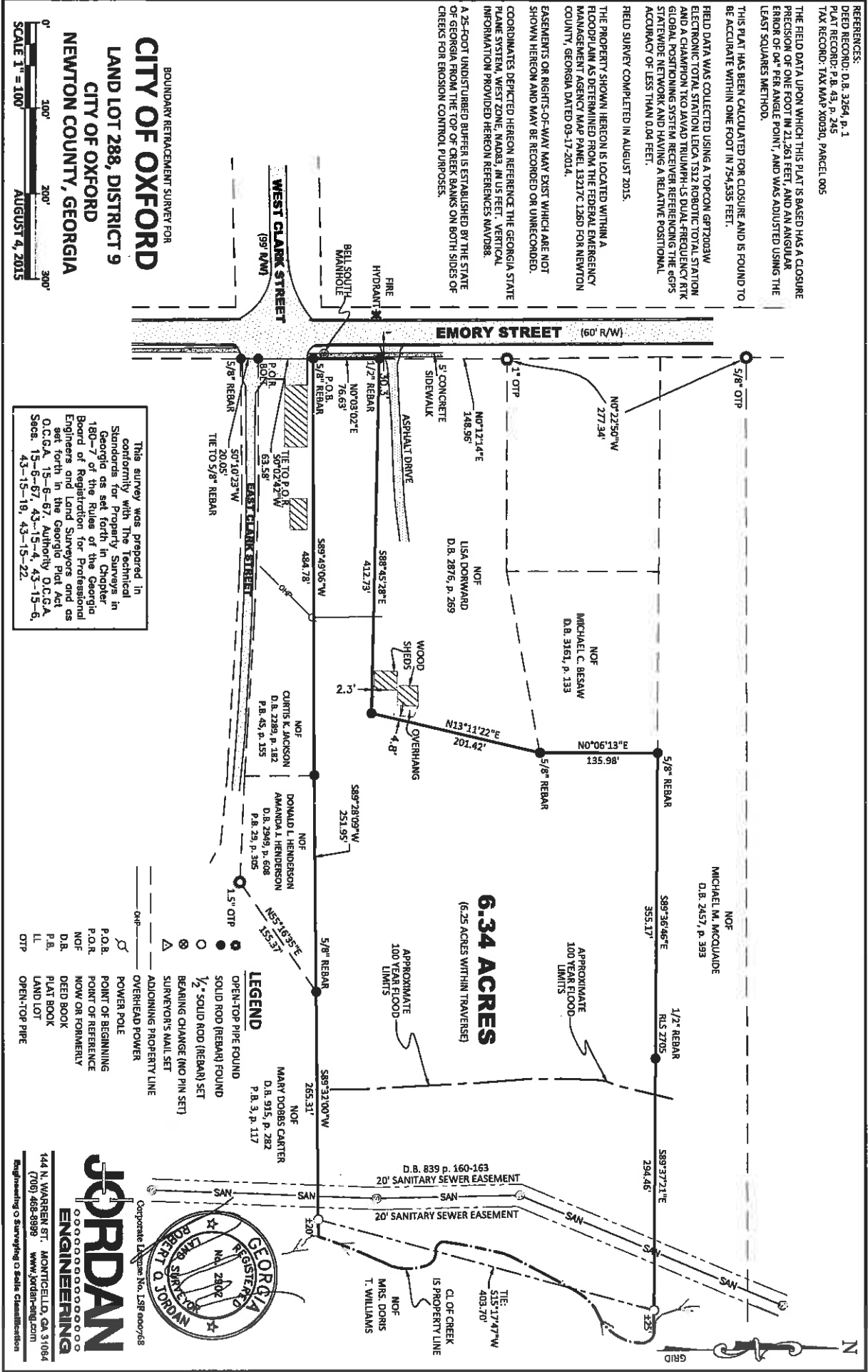
FIELD SURVEY COMPLETED IN AUGUST 2015.

THE PROPERTY SHOWN HEREON IS LOCATED WITHIN A FLOODPLAIN AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP PANEL 132217C 1290 FOR NEWTON COUNTY, GEORGIA DATED 03-17-2014.

EASEMENTS OR RIGHTS-OF-WAY MAY EXIST WHICH ARE NOT SHOWN HEREON AND MAY BE RECORDED ON UNRECORDED.

COORDINATES DERIVED HEREON REFERENCE THE GEORGIA STATE PLANE SYSTEM, WEST ZONE, NAD83, IN US FEET. VERTICAL INFORMATION PROVIDED HEREON REFERENCE NAVD83.

A 25-FOOT UNDISTURBED BUFFER IS ESTABLISHED BY THE STATE OF GEORGIA FROM THE TOP OF CREEK BANKS ON BOTH SIDES OF CREEKS FOR EROSION CONTROL PURPOSES.



S:\CIVIL\OXFORD - 6AC E CLARK ST\OXFORD 6 ACRES.DWG





July 24, 2018  
Our 89th Year

**Ship To:**  
ALTEC INDUSTRIES PLANT 667 MT AIRY FINAL ASSY  
MT AIRY FINAL ASSY  
200 ALTEC WAY  
MOUNT AIRY, NC 27030  
US

**Bill To:**  
ALTEC INDUSTRIES PLANT 667 MT AIRY FINAL ASSY  
MT AIRY FINAL ASSY  
200 ALTEC WAY  
MOUNT AIRY, NC 27030  
US

Attn:  
Phone:  
Email:

**Altec Sales Order:** 3950057  
**Altec Quotation Number:** 350019 - 2  
**Run Number:** 1033061  
**Account Manager:** No Sales Credit  
**Technical Sales Rep:** William Travis Bradley  
**Reference WO:**  
**Customer Inspection:**  
**Line Set Date:** 01/13/2017

**X7 Discrete Job:** 47601777  
**X7 Configured Item:** 970195044-3989917  
**Quantity:** 1  
**X4 Discrete Job:**  
**X4 Configured Item:**  
**System Engineer:** Handley Garton  
**Structural Engineer:** Handley Garton

<u>Item</u>	<u>Description</u>	<u>Qty</u>
<u>Unit and Hydraulic Acc.</u>		
1.	HVI-22 Hydraulic Oil (Standard).	5
2.	Standard Pump For PTO	1
3.	Hot shift PTO for automatic transmission	1
4.	Additional Unit/Hydraulic Accessory	1

**Sales Text; Details:**

- Frame mounted reservoir
- Suction strainer, return line filter
- Sectional control valves and plumbing

Last Updated By: Kyle L Francis on 13-JAN-2017 10:30

**Body**

5.	Altec Chip Dump Body 17.0 cubic yard capacity, 96 inches wide x 60 inches high x 156 inches long (2438 x 1524 x 3962 mm) with ladder box and single piece tailgate.	1
A.	Structural Channel stringers and floor channel.	
B.	12 gauge minimum floor plate.	
C.	14 gauge minimum sides and front with full length die-formed reinforcing ribs.	
D.	14 gauge roof.	
E.	Rear top and sides of body reinforced with angle.	
F.	26-1/2 inches (673 mm) high tailgate, hinged curb side with provision to hold open for dumping.	
G.	12 gauge minimum rear under body skirt panel.	
H.	Class "D" hydraulic hoist, installed, with 45 degree dump angle and body prop.	
I.	LED lighting package with wiring harness in automotive type loom.	

Item	Description	Qty
J.	Four-point LED strobes mounted in the upper corners of the dump body.	
K.	Curb side built-in ladder compartment, 12 inches wide x 25 inches high (305 x 635 mm) with wear pad and internal security chain.	
L.	Pole pruner compartment, 11 inches high (279.4 mm), above ladder compartment with dual shelves and rear locking door. Upper section of rear door opening is open.	
M.	Interior of chip body finished with scratch and corrosion resistant liner.	
N.	Underside of chip body undercoated.	
O.	Painted Altec White.	
6.	Altec L-66 Thru Box with curb and street side compartments with the following compartmentation:	1
A.	Streetside: 1st compartment (24 inches long x 73 inches high x 20 inches deep) with three (3) transverse shelves and six locking swivel hooks (3-0-3 combination). Access to thru compartment extending to curbside.	
B.	Streetside: 2nd compartment (42 inches long x 24 inches high x 20 inches deep) with louvered panel installed at rear of box.	
C.	Curbside: 1st compartment (24 inches long x 73 inches high x 20 inches deep) with three (3) transverse shelves and six locking swivel hooks (3-0-3 combination). Access to thru compartment extending to streetside.	
D.	Curbside: 2nd compartment (42 inches long x 24 inches high x 20 inches deep) with louvered panel installed at rear of box.	
E.	Standard features: Rivet door locks. Double acting spring type door holders. Door locks are single-point rotary paddle latches with lock cylinders. Finish paint interior compartments the same as exterior. Rain deflectors above all doors.	
F.	Painted Altec White	

**Body and Chassis Accessories**

7.	ICC Underride Protection	1
8.	T-100 Style Pintle Hitch (30,000 LB)	1
9.	Set of Safety Chain Loops, Fixed Mounting (Forestry Applications)	1
10.	Mud Flaps With Altec Logo (Pair)	1
11.	Wheel Chocks, Rubber, 9.75" L x 7.75" W x 5.00" H, with 4" L Metal Hairpin Style Handle (Pair)	1
12.	Wheel Chock Holders (Pair), For Installation Under Flatbed Or Dump Body	1
13.	Driveaway Safety Kit	1
14.	Vinyl manual pouch for storage of all operator and parts manuals	1

**Electrical Accessories**

15.	Lights and reflectors in accordance with FMVSS #108 lighting package. (Complete LED, including LED reverse lights)	1
16.	Dual Tone Back-Up With Outrigger Motion Alarm	1
17.	6-Way Trailer Receptacle (Pin Type) Installed At Rear	1
18.	Electric Trailer Brake Controller (Tekonsha Voyager #9030)	1



<u>Item</u>	<u>Description</u>	<u>Qty</u>
19.	Ford Upfitter Switches (Supplied With Chassis)	1
20.	Custom Cab Controls	1
<u>Sales Text; Details:</u>		
- AMPS		
- Switch for dump operation		
- Switch for PTO operation		
Last Updated By: Kyle L Francis on 13-JAN-2017 10:30		
<u>Finishing Details</u>		
21.	Altec Standard; Components mounted below frame rail shall be coated black by Altec. I.e. step bumpers, steps, frame extension, pintle hook mount, dock bumper mounts, D-rings, receiver tubes, accessory mounts, light brackets, under-ride protection, etc. Components mounted to under side of body shall be coated black by Altec. I.e. Wheel chock holders, mud flap brackets, pad carriers, boxes, lighting brackets, steps, and ladders.	1
22.	English Safety And Instructional Decals	1
23.	Vehicle Height Placard - Installed In Cab	1
24.	Non-Focus Factory Build	1
25.	Inbound Freight	1
26.	Stock Unit	1
<u>Chassis</u>		
27.	Chassis	1
28.	Altec Supplied Chassis	1
29.	2017 Model Year	1
30.	Ford F750	1
31.	4x2	1
32.	120 Clear CA (Round To Next Whole Number)	1
33.	Extended Cab (Larger Cab With Half-Length Rear Doors Or No Rear Doors)	1
34.	Chassis Cab	1
35.	Chassis Color - White	1
36.	Ford 6.7L Power Stroke Diesel	1
37.	270 HP Engine Rating	1
38.	Ford Torqshift 6-Speed (6R140) Automatic Transmission (w/PTO Provision)	1
39.	GVWR 25,999 LBS	1
40.	12,000 LBS Front GAWR	1





**Notes:**

- 1            **Altec Standard Warranty:**
- One (1) year parts warranty.
- One (1) year labor warranty.
- Ninety (90) days warranty for travel charges.
- Warranty on structural integrity of the following major components is to be warranted for so long as the initial purchaser owns the product: Booms, boom articulation links, hydraulic cylinder structures, outrigger weldments, pedestals, subbases and turntables.
- Altec is to supply a self-directed, computer based training (CBT) program. This program will provide basic instruction in the safe operation of this aerial device. This program will also include and explain ANSI and OSHA requirements related to the proper use and operation of this unit.
- Altec offers its standard limited warranty with the Altec supplied components which make up the Altec Unit and its installation, but expressly disclaims any and all warranties, liabilities, and responsibilities, including any implied warranties of fitness for a particular purpose and merchantability, for any customer supplied parts
- 2            **Altec designs and manufactures to applicable Federal Motor Vehicle Safety and DOT standards**
- 3            **F.O.B. - Destination**
- Price does not reflect any local, state or Federal Excise Taxes (F.E.T). The quote also does not reflect any local title or licensing fees. All appropriate taxes will be added to the final price in accordance with regulations in effect at time of invoicing.
- 4            **Interest charge of 1/2% per month to be added for late payment.**
- 5            **Delivery: 240-270 days after receipt of order PROVIDING:**
- A. Order is received within 14 days from the date of the quote. If initial timeframe expires, please contact your Altec representative for an updated delivery commitment.
- B. Chassis is received a minimum of sixty (60) days before scheduled delivery.
- C. Customer approval drawings are returned by requested date.
- D. Customer supplied accessories are received by date necessary for compliance with scheduled delivery.
- E. Customer expectations are accurately captured prior to releasing the order. Unexpected additions or changes made at a customer inspection will delay the delivery of the vehicle.
- 6            **Altec reserves the right to change suppliers in order to meet customer delivery requirements, unless specifically identified, by the customer, during the quote and or ordering process.**
- This quotation is valid until MAR 24, 2017. After this date, please contact Altec Industries, Inc. for a possible extension.



**Peach State Truck Centers**

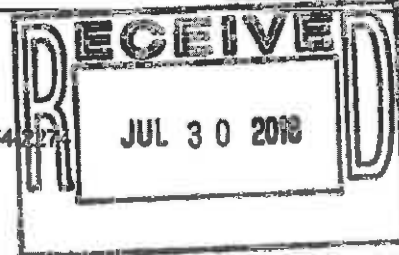
6535 Crescent Drive  
 Norcross GA 30071  
 Phone: (770) 449-5300

**BUYERS ORDER**

Date: 07/30/2018  
 Quote #: DE-05777  
 Type: Cash  
 Salesperson: Joshua Little  
 PO #:

Bill To: PROS-002848  
 CITY OF OXFORD  
 110 W CLARK ST  
 OXFORD GA 30054-2274  
 P:(404) 725-6519

Ship To:  
 CITY OF OXFORD  
 110 W CLARK ST  
 OXFORD, GA 30054-2274



Stock#: JDF03554	VIN: 1FDWF7DC9JDF03554	New 2018 FORD F750	Price:	\$67,876.84
96" x 14' HEAVY DUTY DUMP PLUS 2' ATTIC OVER "I" BOX				\$19,550.00
			FORD GOVT	\$-7,000.00
			<b>Total Price</b>	<b>\$80,426.84</b>
			Dealer Service Fee	\$200.00
			<b>Total</b>	<b>\$80,626.84</b>
			Deposit On Order	\$-0.00
			Due on Delivery	\$-0.00

**CHASSIS:**  
 2018 FORD F-750  
 6.7L POWER STROKE - 270HP  
 ENGINE BLOCK HEATER  
 FORD TORQSHIFT TRANSMISSION  
 FRONT AXLE - 10,000LBS  
 REAR AXLE - 21,000LBS  
 5.29 REAR AXLE RATIO  
 25,999LB - GVW

**BODY:**  
 96" x 14' HEAVY DUTY DUMP PLUS 2' ATTIC OVER "I" BOX  
 SEE ATTACHED SPECS

THIS ORDER SHALL NOT BECOME BINDING UNTIL ACCEPTED BY THE MANAGER.

Purchaser's Signature \_\_\_\_\_ Date: 07/30/2018 Sales Representative \_\_\_\_\_  
 Manager \_\_\_\_\_

## ADDITIONAL CONDITIONS

The following "Additional Conditions" are an integral part of the Agreement and, together with the terms on the front hereof, constitute binding obligations of the parties hereto:

1. Whenever used in this Agreement: (i) "Seller" shall mean the dealer named as "Seller" on the front page hereof; (ii) "Purchaser" shall mean the party named as "Purchaser" on the front page hereof; (iii) "Purchased Vehicle" shall mean the motor vehicle (or vehicles) described on the front page hereof to be purchased from Seller pursuant to this Agreement; (iv) "Manufacturer" shall mean the corporation that manufactured the Purchased Vehicle [or chassis] purchased hereunder; (v) "Lien" shall mean any mortgage, pledge, deed to secure debt, title retention agreement, or other security interest or encumbrance of any kind; and (vi) "Trade-In Vehicle Expenses" shall mean and include (A) all costs that Seller has incurred to [store], insure, repair, condition or advertise any trade-in vehicle and (B) any Lien payoff made by Seller in connection with such trade-in vehicle.
2. Seller hereby sells to Purchaser, and Purchaser hereby purchases from Seller, the Purchased Vehicle for the price set forth on the front page hereof. Purchaser agrees to pay to Seller such purchase price in full in cash on or before the delivery date. Purchaser shall not acquire any right, title or interest in or to the Purchased Vehicle until either [(i)] Seller has received in cash the full purchase price of the Purchased Vehicle or [(ii)] Seller has received a signed deferred payment agreement fully satisfactory to Seller. If for any reason the Purchase Vehicle is delivered to Purchaser prior to receipt by Seller of such full cash payment, then Purchaser (a) hereby grants to Seller a security interest in the Purchased Vehicle to secure any unpaid portion of such purchase price and (b) authorizes Seller to take such actions and to execute such documents on behalf of Purchaser as may be necessary to enable Seller to obtain a perfected security interest in or Lien on the Purchased Vehicle, (c) appoints Seller as Purchaser's attorney-in-fact to execute, deliver and/or file such documents and (d) agrees that Seller shall have the rights of a secured party with a perfected security interest under the Uniform Commercial Code and/or any applicable state title perfection statute.
3. In the event the price to Seller of new motor vehicles of the series and body type ordered hereunder is increased by Manufacturer prior to delivery of the Purchased Vehicle to Purchaser, Seller reserves the right to increase the price of the Purchased Vehicle to be charged to Purchaser; provided, however, that if Purchaser objects to any such price increase, Purchaser may cancel this Agreement. In the event, of any such cancellation, Seller shall return to Purchaser (i) any cash deposit previously received and (ii) any trade-in vehicle previously delivered, provided that Seller may retain any Trade-In Vehicle Expenses previously incurred by Seller; and provided further that if such trade-in vehicle has previously been sold by Seller, Seller shall pay to Purchaser the proceeds of such sale less: (A) a selling commission of [15%] of such proceeds; and (B) any Trade-In Vehicle Expenses paid by Seller. No design change by Manufacturer of the Purchased Vehicle or any component thereof shall require Seller to make any modification to the Purchased Vehicle or any component thereof either before or after delivery of the Purchased Vehicle to Purchaser. Purchaser acknowledges (a) that Seller is not the agent of the Manufacturer and shall not be liable for any action or inaction of Manufacturer, and (b) Seller and Purchaser are the sole parties to this Agreement and Seller is unable to bind Manufacturer to any obligation.
4. If the a trade-in vehicle is not to be delivered to Seller until delivery to Purchaser of the Purchased Vehicle, then such trade-in vehicle shall be reappraised at the time of delivery and such reappraised value shall determine the gross trade-in allowance thereof; provided, however, that if such reappraised value is more than [15%] lower than the original gross-trade allowance shown on the front hereof, Purchaser may cancel this Agreement, provided that such cancellation right is exercised prior to the delivery of the Purchased Vehicle to Purchaser.
5. Purchaser warrants as to any trade-in vehicle delivered hereunder to Seller that (i) Purchaser has good title thereto and (ii) Purchaser will deliver to Seller at the time of delivery thereof to Seller the certificate of title to such vehicle free and clear of all Liens. If a Lien does exist on such vehicle, then, at Seller's option, either (a) Purchaser will pay off such Lien or (b) Seller will deduct the amount of such Lien from the trade-in value, thus increasing the purchase price of the Purchased Vehicle. If there is any difference between the actual Lien payoff of the trade-in vehicle and the "Amount Owed On Trade Vehicle" stated on the front hereof, Purchaser shall be solely responsible for any such difference and Purchaser shall promptly pay Seller any such difference that Seller is required to pay to the lienholder to secure clear title to the trade-in vehicle.
6. Unless this Agreement shall have been cancelled by Purchaser in accordance with either paragraph 3 or 4 above, Seller shall have the right, upon any failure or refusal of Purchaser to accept delivery of the Purchased Vehicle or upon any other breach of this Agreement, (i) to retain (A) any cash deposit previously made by Purchaser and (B) any trade-in vehicle previously traded-in as part of the consideration for the Purchased Vehicle, (ii) to apply any such cash and the proceeds of the sale by Seller of any such trade-in vehicle against the damages that Seller might suffer by reason of such failure, refusal or other breach, and (iii) to avail itself of any remedy available to Seller at law or in equity. In applying any such cash or proceeds, Seller may first deduct therefrom all Trade-In Vehicle Expenses and any other expenses (including attorneys' fees) that Seller may incur as a result of any such failure, refusal or other breach. In the event that Seller is required to have an attorney to enforce this Agreement or to collect sums due hereunder (including by arbitration), Purchaser agrees that Seller shall be entitled to recover, in addition to any sums due hereunder, all costs of collection, including reasonable attorney's fees in the amount of 15% of the sums due to Seller.
7. Seller shall not be liable for either (i) any delay in delivering the Purchased Vehicle or (ii) any failure to deliver the Purchased Vehicle, where such failure is due, in whole or in part, to any cause beyond the reasonable control of Seller.
8. The price of the Purchased Vehicle on the front hereof includes reimbursement for federal excise taxes, but does not include any federal, state or local sales, use or occupational taxes [based on sales volume], unless expressly so stated. Purchaser assumes and agrees to pay, unless prohibited by law, any such sales, use or occupational taxes imposed on or applicable to the transaction covered by this Agreement, regardless of which party may have primary tax liability therefor.
9. **THE ONLY WARRANTIES APPLYING TO THE PURCHASED VEHICLE ARE THOSE, IF ANY, SUPPLIED BY THE MANUFACTURER. SELLER EXPRESSLY DISCLAIMS ALL WARRANTIES, EITHER EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR USE. PURCHASER SHALL NOT BE ENTITLED TO RECOVER FROM SELLER ANY CONSEQUENTIAL DAMAGES, DAMAGES TO PROPERTY, DAMAGES FOR LOSS OF USE, LOSS OF TIME, LOSS OF PROFITS OR INCOME, OR ANY OTHER CONSEQUENTIAL OR INCIDENTAL DAMAGES, UNLESS A SEPARATE WRITTEN WARRANTY IS PROVIDED TO PURCHASER BY SELLER. A USED VEHICLE SOLD HEREUNDER IS SOLD "AS IS" WITHOUT ANY WARRANTY.**
10. Purchaser warrants to Seller that at the time of delivery of the Purchased Vehicle, Purchaser will have insurance in force, which will provide full collision, theft, comprehensive and liability coverage for the Purchased Vehicle [and that it will maintain said insurance in force.] No loss, damage or destruction of the Purchased Vehicle shall release Purchaser from its obligations hereunder. In the event that financing of any deferred balance is not accepted by a finance company acceptable to Seller and said motor vehicle is involved in an accident prior to return of said vehicle to Seller, or in the event any checks which are given in payment for said motor vehicle are not honored by the bank upon which drawn and said motor vehicle shall be involved in an accident, Purchaser hereby assigns to Seller the right to receive proceeds payable to Purchaser under all insurance policies covering said accident and Purchaser hereby authorizes and directs the carriers of all such insurance policies to pay said proceeds directly to Seller alone. Purchaser hereby appoints Seller as Purchaser's attorney-in-fact to endorse Purchaser's name to any checks or drafts issued by such insurance carriers by reason of such accident. Any such proceeds received by Seller shall be applied toward payment of Purchaser's obligations hereunder; and any excess of such proceeds over said obligations shall be remitted to Purchaser.
11. If Purchaser has delivered to Seller an application for credit, Purchaser represents that all statements made in such credit application are true and correct, and Purchaser acknowledges that Seller will be relying thereon. Any untrue or incorrect statement or any other misrepresentation of Purchaser in the credit application or in any other documents shall entitle Seller immediately to rescind and to repossess the Purchased Vehicle.]
12. In the event that any portion of the purchase price is to be financed, Purchaser shall be solely responsible to obtain such financing, even if Seller assists Purchaser to obtain such financing. In the event Seller so assists Purchaser, Seller shall not be deemed to have acted as Purchaser's agent; and Seller may retain or be paid by lender a portion of any finance charge imposed on Purchaser by any lender. In the event that Purchaser has obtained possession of the Purchased Vehicle but is unable within 10 days after so obtaining possession to obtain financing and pay off the balance of the purchase price owed to Seller, Purchaser agrees to return the motor vehicle to Seller immediately upon demand. In the alternative, Seller shall be entitled to immediately repossess the vehicle.]
13. Purchaser agrees that it will execute and deliver such other agreements, documents or instruments as may be necessary to complete the sale contemplated hereby in accordance with the terms and conditions hereof.
14. This Agreement shall not be assigned by Purchaser without Seller's prior written consent. This Agreement constitutes the entire agreement between the parties with respect to the subject matter hereof, and no modification or waiver of any provision hereof shall be valid unless it is in writing and signed by each party hereto. If any provision of this Agreement shall be deemed invalid, illegal or unenforceable under applicable law, such invalidity, illegality or unenforceability shall not adversely affect the validity, legality or enforceability of the remainder of this Agreement. This Agreement shall be governed by the laws of the state in which the Seller is located as shown on the front of this Agreement. Whenever the context of this Agreement requires, all pronouns used herein shall refer to the masculine, feminine or neuter gender and the singular shall refer to the plural and *vice versa*, as the context may require.
15. Any dispute or controversy arising pursuant to this Agreement shall be resolved by final and binding arbitration in Gwinnett County, Georgia before a single arbitrator appointed and acting pursuant to JAMS' commercial arbitration rules. [NO CLASS WIDE ARBITRATION CLAIMS ARE ALLOWED.] [Seller and Purchaser shall each bear their own expenses for attorneys, experts, witness fees, regardless of which party prevails in the arbitration.] OR [The arbitrator may award costs and attorney's fees to the prevailing party.] [See Paragraph 6 above]



**K & K Manufacturing, Inc.**  
 70 Pike Industrial Way  
 Milner, GA 30257

# Estimate

Date	Estimate #
7/27/2018	12768

Name / Address
Peach State Trucks 6535 Crescent Drive Norcross, GA 30071

Additional Info

Rep	P.O. No.	Approx Lead Time	Make / Model	C/A & SRW-DRW
MITCH		4-5 Weeks	F-750	260" WB

Description	Qty	Cost	Total
96" x 14' Heavy Duty Dump plus 2' Attic over "I" Box Main Frame: 7" Channel Cross Members: 3" Channel, 12" on-center Floor Plate: 3/16" Smooth seamless plate Bulk Head: HFI 9654 ICC Bumper Mudflaps Back up alarm LED lighting Paint: Black Installed	1	3,930.00	3,930.00
Twin Cylinder PTO Hoist Kit for Automatic Transmission Electric Operated Valve with Push Button Controller Hoist: 6630-8S-KK	1	6,975.00	6,975.00
16' Chipper Sides and Roof with 2' Attic over "I" Box 6' Sides, 4" Channel Posts, 11 ga. Skins 36" Barn Doors	1	4,200.00	4,200.00
24" x 96" I-Box with Rope Hooks	1	1,525.00	1,525.00
24" x 24" x 60" Underbody Toolbox Powder coated black, Stainless T-handle	2	610.00	1,220.00
15 Ton Pintle Hitch with 2" Receiver Tube (2) D-Rings for Safety Chains	1	400.00	400.00
7-Way RV Plug	1	50.00	50.00

Phone #	Fax #	E-mail	Web Site	Subtotal
770-228-9974	770-228-7573	denise@kandkmfg.com	www.kandkmfg.com	

**Sales Tax (0.0%)**

**Total**



**K & K Manufacturing, Inc.**  
 70 Pike Industrial Way  
 Milner, GA 30257

# Estimate

Date	Estimate #
7/27/2018	12768

Name / Address
Peach State Trucks 6535 Crescent Drive Norcross, GA 30071

Additional Info

Rep	P.O. No.	Approx Lead Time	Make / Model	C/A & SRW-DRW
MITCH		4-5 Weeks	F-750	260" WB

Description	Qty	Cost	Total
Chassis Modification: Shorten Chassis to Fit Body Approx. 120" C/A	1	1,250.00	1,250.00

Phone #	Fax #	E-mail	Web Site	Subtotal	\$19,550.00
770-228-9974	770-228-7573	denise@kandkmfg.com	www.kandkmfg.com		

	<b>Sales Tax (0.0%)</b>	\$0.00
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	<b>Total</b>	\$19,550.00
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Thank you for allowing us to give you an estimate. Estimates are good for 30 days. If all information on the estimate, including chassis information is correct, please sign above to process order. The lead time above is estimated and is our "target" date of completion. This date is subject to the date of the quote. A 3% processing fee will be applied to all credit and debit card purchases. We look forward to working with you.

**Matt Pepper**

---

**From:** Jody Reid  
**Sent:** Tuesday, July 31, 2018 9:37 AM  
**To:** Matt Pepper  
**Subject:** Fwd: Altec Stock AF1360 #47601777  
**Attachments:** Sales Drawing.pdf; ATT00001.htm; WO47601777.pdf; ATT00002.htm

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged



Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** Tim.Luker@altec.com  
**Date:** 7/24/18 10:01 AM (GMT-05:00)  
**To:** Jody Reid <JReid@oxfordgeorgia.org>  
**Subject:** Altec Stock AF1360 #47601777

Jody, this unit is available now for delivery. Price delivered to Oxford GA is \$76,721.00. Please look it over and let me know if it meets your requirements.